

1. October 21, 2020 - Agenda

Documents:

[102120.PCM.COURTESY.PDF](#)

2. October 21, 2020 - Packets

Documents:

[ITEM A1 - BARNEY DDR MODIFICATION 10-21-2020.PDF](#)

[ITEM A2 - PARKING AREA DDR 10-21-2020.PDF](#)

[ITEM A3 - PU ZONE CHANGE PC REPORT 10-21-2020.PDF](#)



118 Lion Blvd ◦ PO Box 187 ◦ Springdale, UT 84767 ◦ (435) 772-3434

PLANNING COMMISSION NOTICE AND AGENDA
THE SPRINGDALE PLANNING COMMISSION WILL HOLD A REGULAR MEETING
ON WEDNESDAY, OCTOBER 21, 2020.

****THE MEETING WILL BEGIN AT 6:00 PM.**

This Commission meeting will not have an anchor location and will be conducted entirely via electronic means. Commission members will connect remotely. The meeting will be available to the public for live viewing/listening and includes public hearings whereby public comments can be made electronically. If you do not have access to the internet, you can join the audio via telephone.

****Please note the change in start time**

Attending Clerk: Darci Carlson

Approval of the agenda

General discussion announcements

A. Action Items

1. Public Hearing: Design / Development Review Modification: Revisions to a previously approved DDR for transient lodging cabin units at 1423/1427 Zion Park Boulevard - Travis Barney.
2. Public Hearing: Design / Development Review: Improvements to a vacant lot on Winderland Lane to create an employee parking area (parcel S-56) - Kurtis Maxwell.
3. Public Hearing: Zone Change: Changing the zone on the following parcels:
 - Central Commercial (CC) to Public Use (PU) on the Springdale Elementary School property at 898 Zion Park Boulevard (parcel S-60).
 - Foothill Residential (FR) to Public Use (PU) on the following lots in the Balanced Rock Hills Subdivision: 1, 3, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 25, 27, 31, 32, 34, 35, 36, 37, 38, 39, 40, 41, 44, 45, 46, 47, 48, 49, 50, 51, 52.
 - Foothill Residential (FR) to Public Use (PU) on parcels S-135-C and S-135-E.

B. Consent Agenda

1. Minutes from September 16th and October 7th

C. Adjourn

This notice is provided as a courtesy to the community and is not the official notice for this meeting/hearing. This notice is not required by town ordinance or policy. Failure of the Town to provide this notice or failure of a property owner, resident, or other interested party to receive this notice does not constitute a violation of the Town's noticing requirements or policies. If you have questions regarding any of the agenda items, or other community development comments, please contact Community Development staff at 435-772-3434 or tdansie@springdale.utah.gov.

The Town of Springdale complies with the Americans with Disabilities Act by providing accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for Town sponsored public meetings, services, programs, or events should call Springdale Town Clerk Darci Carlson (435.772.3434) at least 24 hours before the meeting.

Packet materials for agenda items can be found on the Town website at: <https://www.springdaletown.com/AgendaCenter/Planning-Commission-7>

*****Persons interested in accessing the meeting electronically can login using the following link:***

<https://us02web.zoom.us/j/86573435634?pwd=UWdTV1dXdzdaTHV0RFhQSGpmZzBBQT09>

Meeting ID: 865 7343 5634
Passcode: 0VYjxQ

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Dial by your location
+1 346 248 7799 US (Houston)



Memorandum

To: Planning Commission
From: Thomas Dansie, Director of Community Development
Date: **October 16, 2020**
Re: **October 21, 2020 Planning Commission Meeting**
Design / Development Review Modification – Transient Lodging Cabin Development, 1423 Zion Park Boulevard – Travis Barney

Executive Summary

The Planning Commission approved a transient lodging cabin development on property at 1423/1437 Zion Park Boulevard in February 2019. The property is located in the Village Commercial zone. Travis Barney has applied for a modification of the original DDR approval. The changes to the original plan are:

- Reducing the number of cabins (12 instead of 13).
- Rearranging the location of the cabins on the property.
- Changing the style and design of the cabins (some are now two-story, the original had all single-story).

The proposed modifications comply with the applicable land use standards in the Town Code. The Planning Commission may wish to use the following language for a motion on this project:

The Commission approves/denies the modification to the transient lodging cabin project at 1423/1437 Zion Park Boulevard. This motion is based on the following findings:

[List findings]

If making a motion to approve the Commission may wish to add the following conditions of approval:

- 1. The applicant must combine parcels S-74 and S-80 into a single parcel. The Town will not issue a building permit for the project until the lots have been combined.*
- 2. The applicant must submit a revised landscape plan showing the total number of required trees (35) and shrubs (140). The Town will not issue a building permit for the project until the revised landscape plan has been submitted.*
- 3. The applicant must provide additional detail on the proposed recessed can light fixtures, specifically: the color temperature of the light source, the number of lumens, and details regarding the 2" recess on the light source. The Town will not issue a building permit for the project until the revised lighting plan has been submitted.*

Applicable Ordinances

The Commission may wish to review the following ordinances prior to the meeting:

- 1- Chapter 10-11B: Village Commercial Zone
- 2- Chapter 10-15: Design/Development Review
- 3- Chapter 10-16: Architectural Standards and Design Guidelines

Background

Travis Barney has requested a modified design/development review to develop 12 transient lodging cabins on property at 1423 Zion Park Boulevard (parcels S-74-A and S-80). The properties are both located in the Village Commercial zone, across the street from Zion Rock and Mountain Guides / Zion Rock and Gem. Parcel S-74-A measures 0.32 acres, parcel S-80 measures 1.0 acre. Parcel S-80 is long and narrow (about 50 feet in width). This unique geometry, combined with setback requirements, constrains the style of development possible on the lot.

The application before the Commission is a design/development review. As such, the Commission should review the project for compliance with development standards (setback, landscape, design, lighting, etc.). The use of the property as a transient lodging facility is not under review at this time. The applicant will need to apply for a conditional use permit to have the transient lodging use on the property reviewed.

The applicant is proposing four different types of cabin units: a single story single unit (1 unit), a two story single unit (3 units), a duplex single story unit (2 duplexes, 4 units), and a two story duplex unit (2 duplexes, 4 units). There are 12 total units proposed.

Staff Analysis

Staff's analysis of the proposed development with respect to standards in the code follows:

Unit Count

Standard: One unit per 4,000 sf
Proposal: 12 units (1 per 4,759 sf)
Comment: In compliance

Building Size

Standard: 5,000 sf (8,000 sf if setback 100 from SR9 and residential zones)
Proposal: The cabins range in size from 408 square feet to 1,232 square feet
Comment: In compliance

Building Height

Standard: 26 ft (28 ft if more than 4 ft lower than SR9)
Proposal: The single story cabins measure 15 feet in height. The two story cabins measure a maximum of 24.5 feet in height.
Comment: In compliance

Setbacks

Standard: 30ft from front, 10ft from side adjacent to VC, 20ft from side adjacent to VR, 20ft from rear
Proposal: Setback limits shown on plans. All cabins within setback limits shown on plans
Comment: In compliance (Note: parking spaces may extend 5ft into required side and rear setbacks, with Planning Commission approval (see section 10-11B-7(A)(7))

Landscape

- Standard: Minimum of 60% of property must be landscaped (34,500sf on subject property), with tree and shrubs from plant list in quantities dictated by 10-18-4 (35 trees, 140 shrubs)
- Proposal: Landscape plan shows 72% of property in landscape with 24 trees and approximately 80 shrubs.
- Comment: The total amount of landscape on the property is in compliance. However, the landscape plan should be revised to show the required number of trees and shrubs, and ensure the trees and shrubs are selected from the approved plat list. Staff recommends a condition of approval requiring the revised landscape plan.

Parking

- Standard: One space per lodging unit, plus two employee spaces (14 spaces)
- Proposal: 14 spaces
- Comment: In compliance (Note: parking spaces are shown extending into setbacks. See discussion on setbacks above.)

Lighting

- Standard: All lighting must be down directed, shielded, and serve a functional purpose. Light sources must be 3,000 degrees Kelvin or less. 30,000 total lumens per acre allowed.
- Proposal: The lighting plan shows fairly minimal outdoor lighting (four recessed can lights fixtures per unit, no parking lot lighting). However, no details on the type of fixture have been provided (color temperature, lumens, verification of 2" light source recess, etc.).
- Comment: The proposed light locations comply with Town standards. It is likely that the amount of lighting shown on the plans is compliant with the 30,000 lumen per acre limit. However, addition information is required to verify compliance. Staff recommends a condition of approval that requires addition detail on the lighting plan.

Colors and Materials

- Standard: All colors and materials must comply with standards in 10-16-4(B)(4) and 10-17-4
- Proposal: The applicant has indicated color and material samples will be provided prior to the meeting.
- Comment: Color and material samples should be provided

Grading

- Standard: Grading must comply with standards in 10-15B which regulates cut, fill, grading limits, steep slope protection and related standards.
- Proposal: Minimal grading proposed.
- Comment: In compliance

Other Issues

- Design standards: Chapter 10-16 of the Town Code contains guidelines for the design of new structures in the Town. The Commission may wish to review these standards and determine whether or not the proposed designs are consistent with the standards.
- Lot combination: The project is proposed on two separate parcels of property. To avoid issues with setbacks and landscape requirements on the individual parcels, the lots must be combined into one large parcel.
- Storm water runoff: The project will be required to submit a storm water management plan. The proposal includes storm water detention on the rear of the property. Storm water calculations must be included to verify the sizing of the detention areas.

Springdale Town Community Development

Barney

10/02/2020 - 10/01/2021

Design/Development Review

Design/Development Review Revisions

Permit/License #

0787413

Reference Number

32596050-04d7-11eb-b5cb-e9b874ff9d99

Application Status

New

Status

Active

Application Review Status

Final-Review

Not Reviewed

Date Submitted

10/02/2020

Fees

Design/Development Review Revisions \$150.00

Total Fees \$150.00

Amount Paid \$0.00

Payments

There are no payments

Application Form Data

(Empty fields are not included)

First Name

Travis

Last Name

Barney

Address

51 West 1000 South

City

Hurricane

State

UT

Zip

84737

Mailing Address

Po Box 203

City

Springdale

State

UT

Zip

84767

Contact Email

whiptailgrill@yahoo.com

Contact Phone Number

(435) 632-7950

Briefly describe the proposed project

Short term cabin rentals

Project Address

1423 and 1427 Zion Park Blvd

City

SPRINGDALE

State

UT

Zip

84767

Tax Code Number

S-74-A

Zone

VC

Please upload your Site Analysis

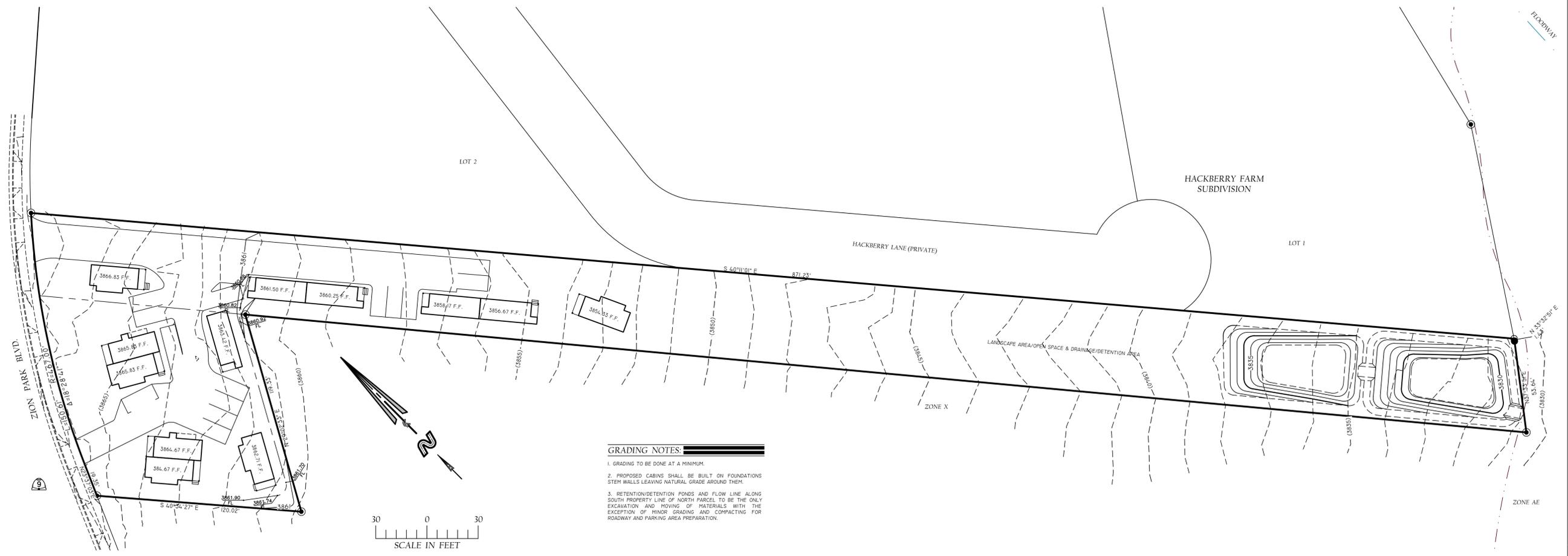
 **2008-0048 - Barney Cabins - Site Construction Set.pdf**

Signature

I certify that the information contained in this application and in the attached Site Analysis is true and correct.

Electronically Signed

Travis J Barney - 10/02/2020 11:46 am



REVISIONS

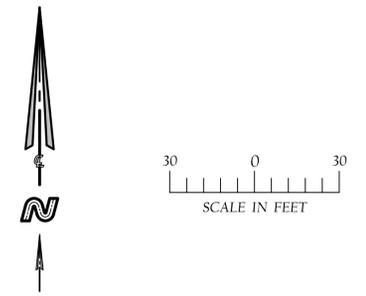
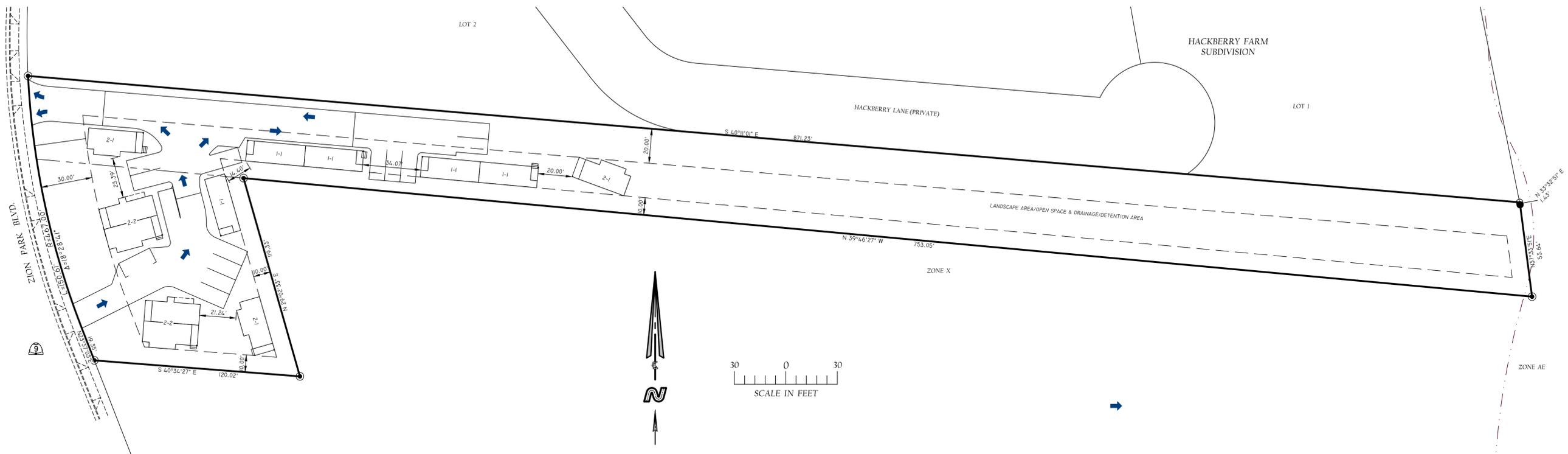
NO.	DATE	APPROVED BY	REMARKS

Center Line
 199 NORTH STATE STREET, LAVERKIN, UTAH 84745
 PHONE: (435) 668-9830

CLIENT NO:
2008-0048 (1013)
 FILE NAME:
Barney Cabins - Const

GRADING PLAN & LANDSCAPE PLAN
 FOR
BARNEY CABINS
 FOR
TRAVIS & AMY BARNEY
 LOCATED IN THE NE 1/4 SEC 21, T4S, R10W, S188M
 SPRINGDALE, UTAH

DATE
OCTOBER 15, 2020
 SCALE
1" = 30'
 SHEET
3



BUILDING INFORMATION - 2-2

AREAS PER UNIT
 MAIN FLOOR - 383 SQ.FT.
 2ND FLOOR - 185 SQ.FT.
 COVERED PATIO - 48 SQ.FT.

BUILDING INFORMATION - 2-1

AREAS PER UNIT
 MAIN FLOOR - 383 SQ.FT.
 2ND FLOOR - 185 SQ.FT.
 COVERED PATIO - 48 SQ.FT.

BUILDING INFORMATION - 1-1

AREAS PER UNIT
 MAIN FLOOR - 376 SQ. FT.
 COVERED PATIO - 32 SQ.FT.

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- 1 - SITE PLAN
- 2 - FLOOR & ELECTRICAL PLANS 2-2
- 3 - ELEVATIONS, ROOF & FOUNDATION PLANS 2-2
- 4 - FLOOR & ELECTRICAL PLANS 2-1
- 5 - ELEVATIONS, ROOF & FOUNDATION PLANS 2-1
- 6 - FLOOR & ELECTRICAL PLANS 1-1
- 7 - ELEVATIONS, ROOF & FOUNDATION PLANS 1-1

BARNEY CABINS

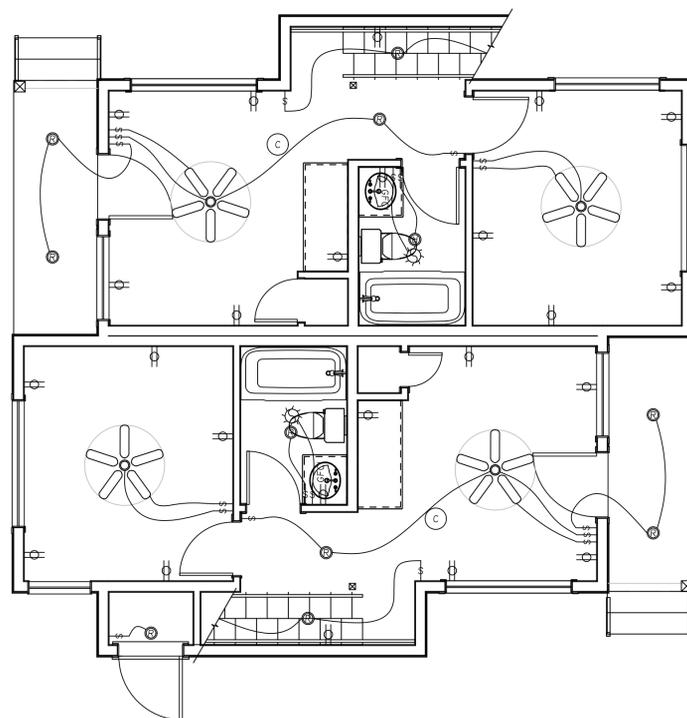
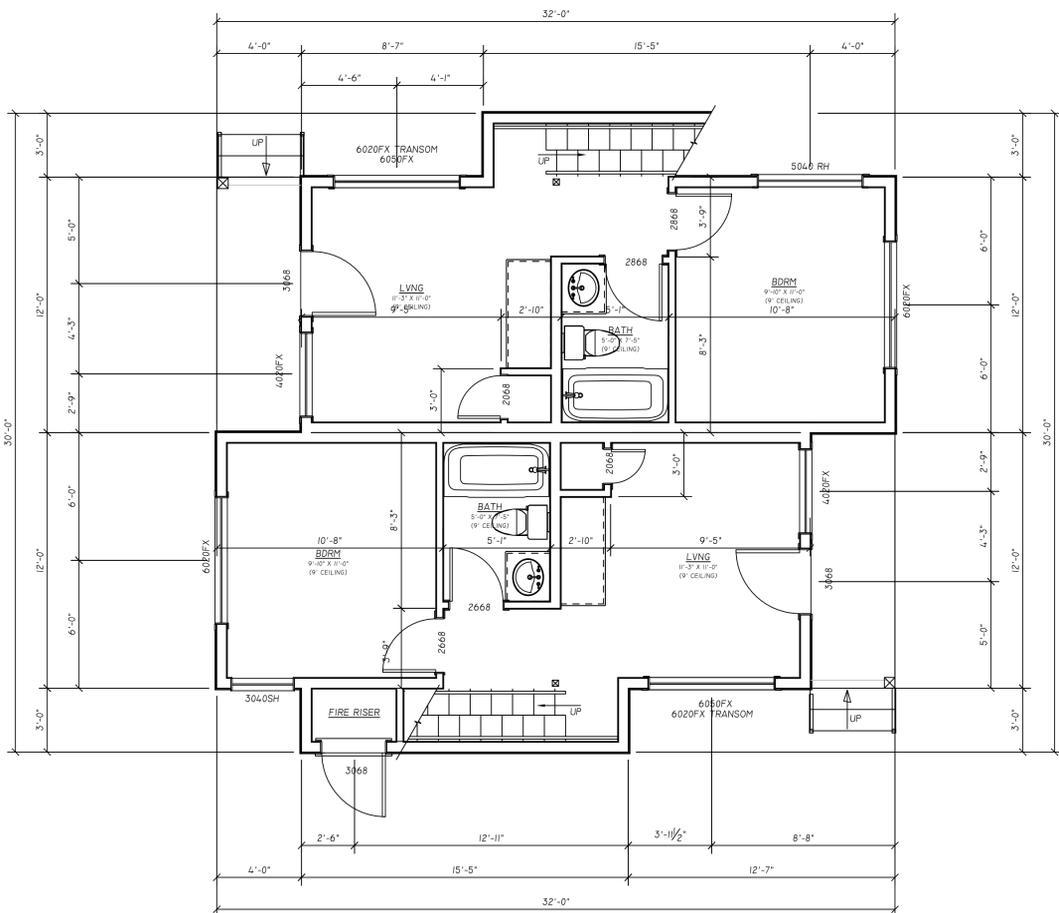
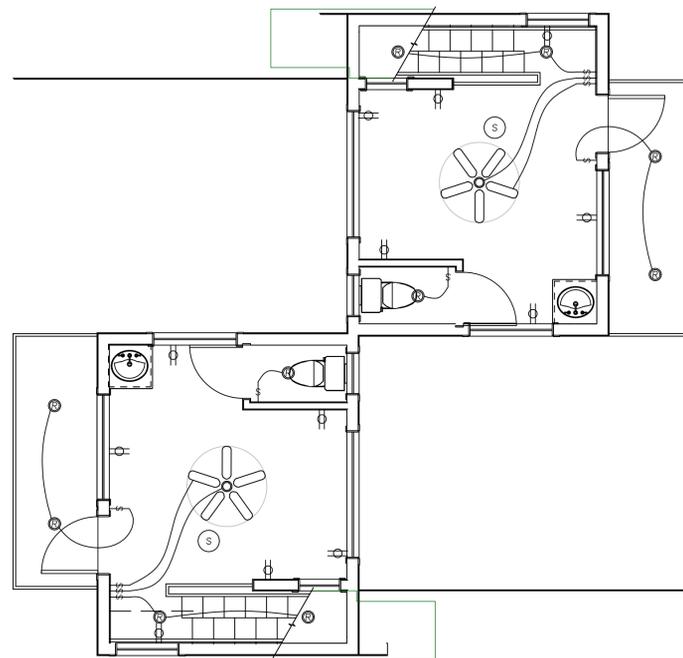
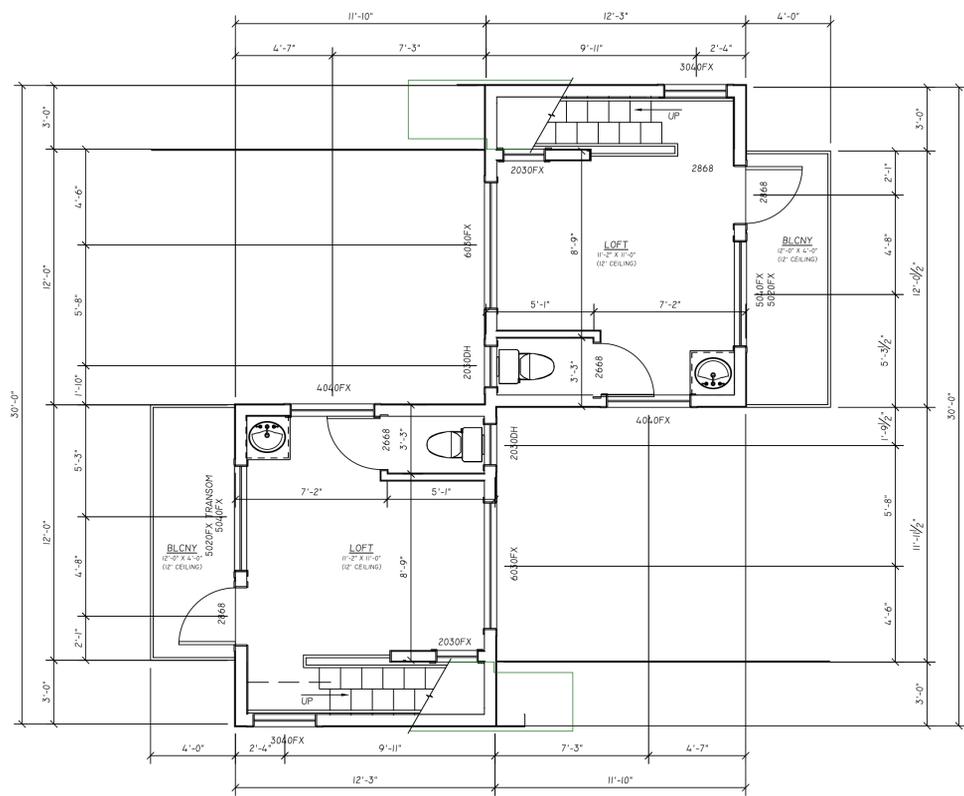
TRAVIS & AMY BARNEY - 1457 ZION PARK BLVD - SPRINGDALE, UTAH

NO.	DATE	APPROVED BY	REVISIONS	REMARKS

Center Line
 199 NORTH STATE STREET, LAYKIN, UTAH 84743
 PHONE: (435) 668-9830

JOB # (CLIENT #)
 2009-0048 (1013)
 FILE NAME:
 BLDG PLANS 3-2

SITE PLAN
BARNEY CABINS
 FOR
TRAVIS & AMY BARNEY
 1457 ZION PARK BLVD
 SPRINGDALE, UTAH



ELECTRICAL LEGEND

- EXTERIOR WALL MOUNT LIGHT
- POWER OUTLET
- FLOOR-MOUNTED POWER OUTLET
- GFCI
- GROUND FAULT INTERRUPTER POWER OUTLET
- WATER PROOF POWER OUTLET
- 220 V POWER OUTLET
- CEILING EXHAUST FAN
- CEILING LIGHT
- SOLAR TUBE
- INTERIOR WALL MOUNT LIGHT
- LIGHT SWITCH
- RECESSED LIGHTING
- CEILING FAN
- FLUORESCENT LIGHT
- LIGHT BAR (SIZE PER OWNER)
- CHANDELIER (STYLE PER OWNER)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

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FILE NAME:
BLDG PLANS 3-2

FLOOR & ELECTRICAL PLANS FOR CABINS 1-2
FOR
BARNEY CABINS
TRAVIS & AMY BARNEY
14720N PARK BLVD
SPRINGDALE, UTAH

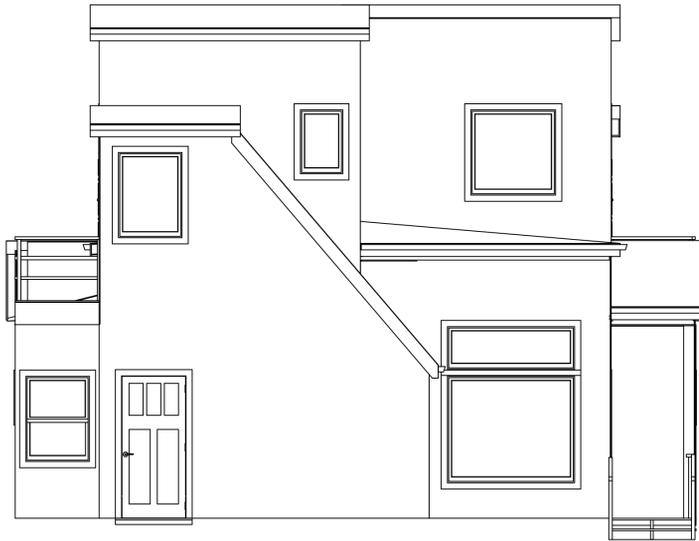
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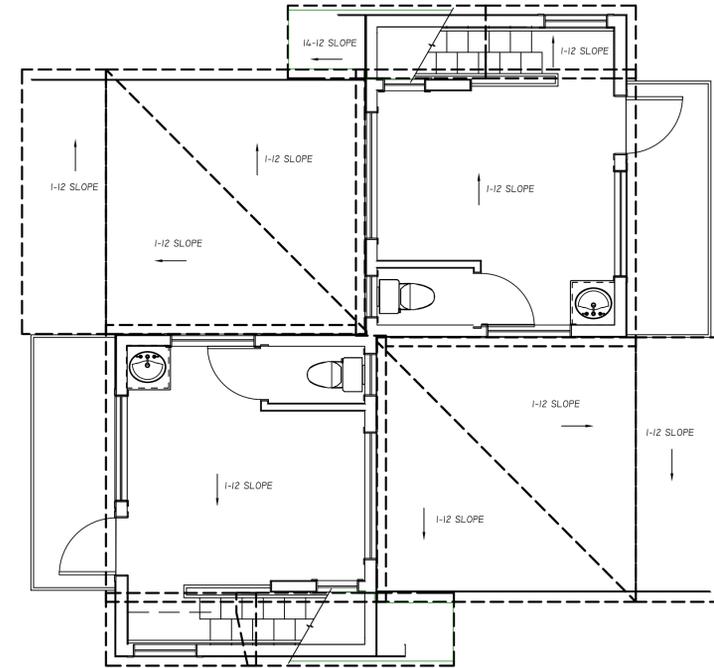
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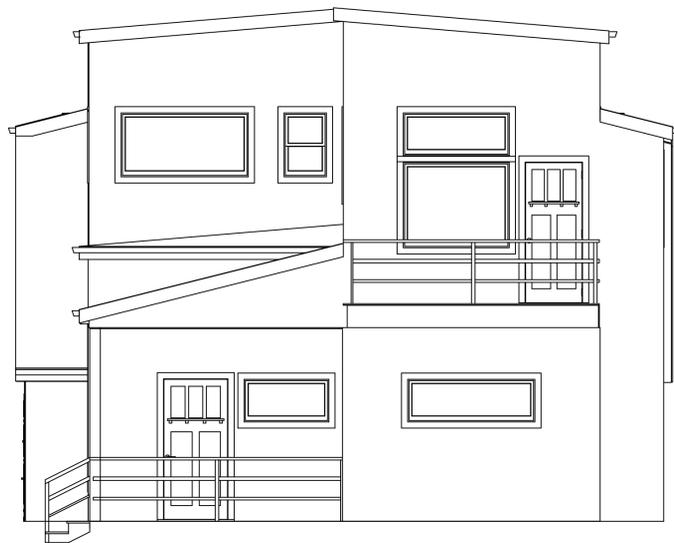
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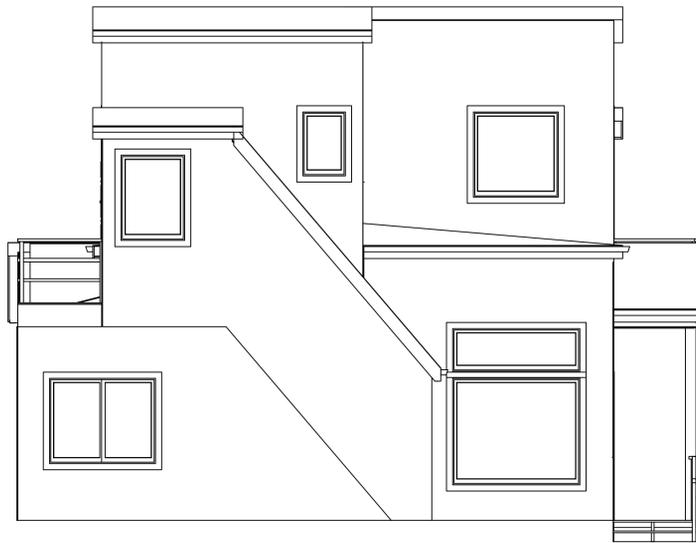
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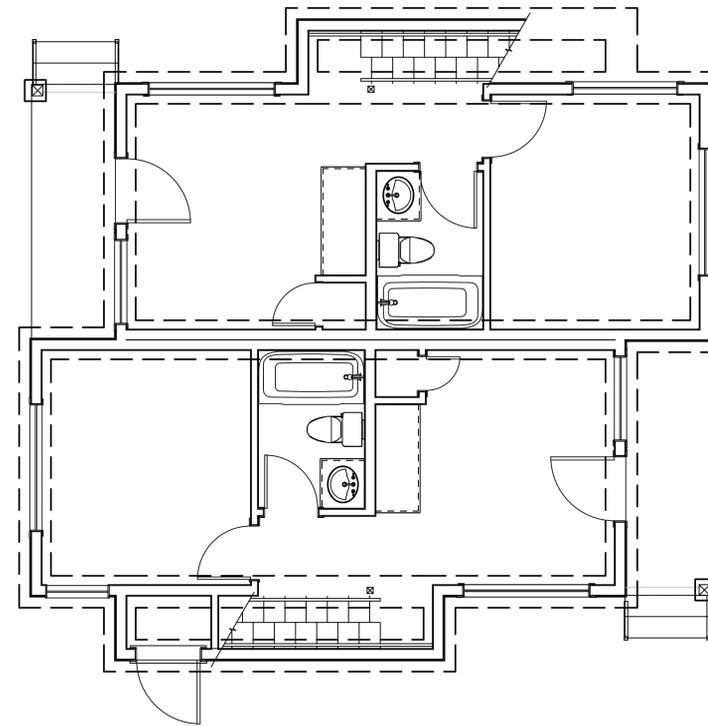
ROOF PLAN
SCALE - 1/4" = 1'



RIGHT ELEVATION
SCALE - 1/4" = 1'



REAR ELEVATION
SCALE - 1/4" = 1'



FOUNDATION PLAN
SCALE - 1/4" = 1'

REVISIONS

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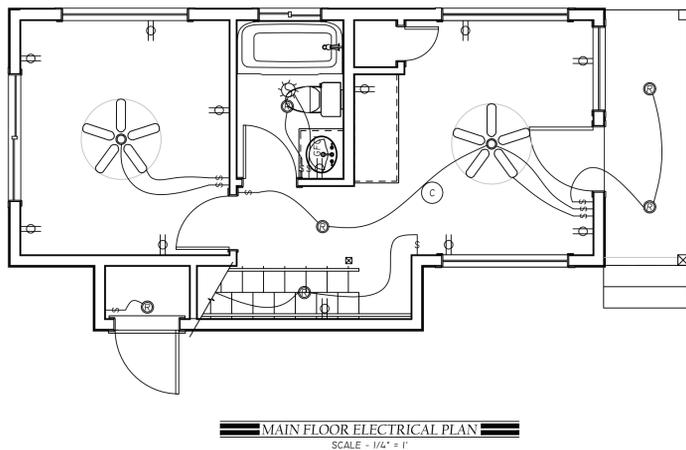
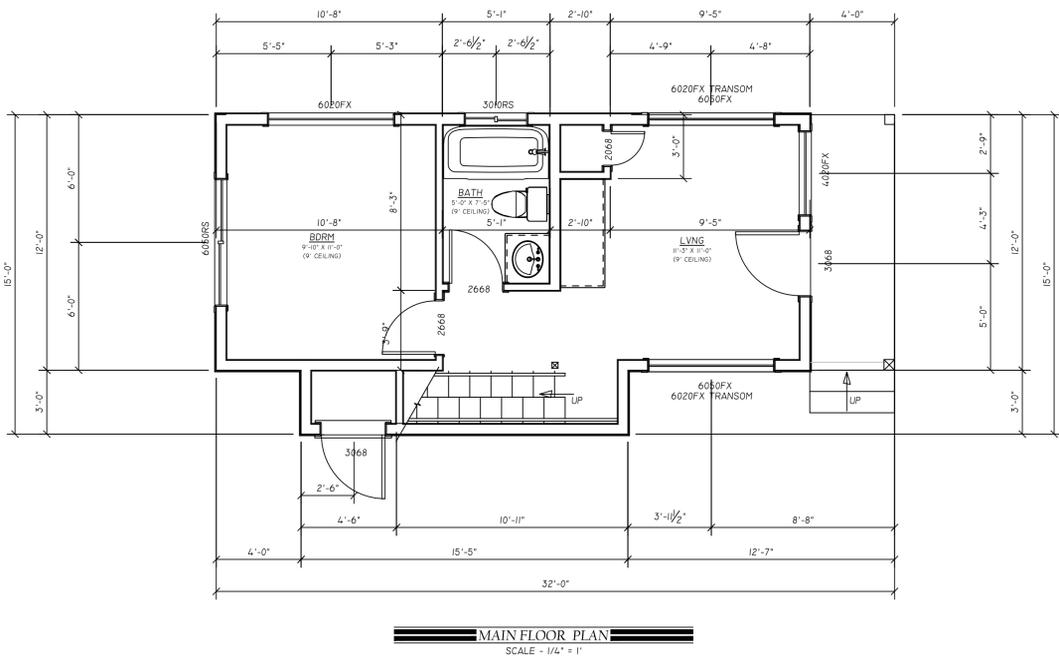
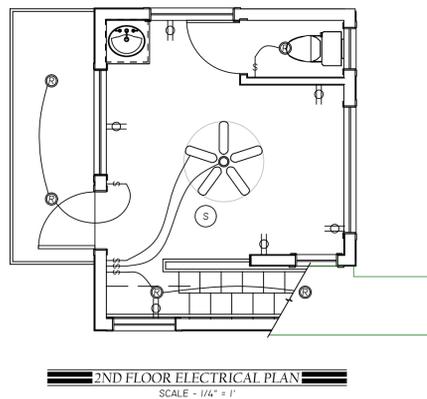
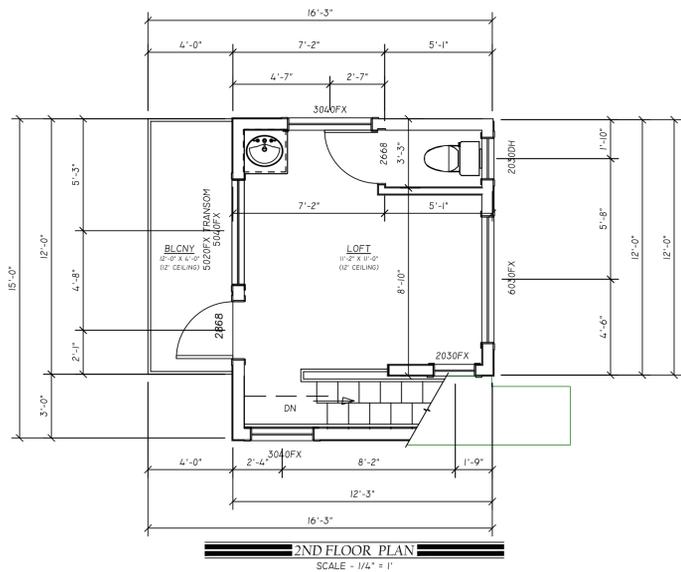


JOB # (CLIENT #)
 2009-0048 (1013)
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ELEVATIONS, ROOF, FOOTING PLANS FOR CABINS 1.2
 FOR
BARNEY CABINS
 TRAVIS & AMY BARNEY
 147 ZION PARK BLVD
 SPRINGDALE, UTAH

DATE
 OCTOBER 15, 2020
 SCALE
 1/4" = 1'

SHEET
3



ELECTRICAL LEGEND

- EXTERIOR WALL MOUNT LIGHT
- POWER OUTLET
- FLOOR-MOUNTED POWER OUTLET
- GFCI
- GROUND FAULT INTERRUPTER POWER OUTLET
- WATER PROOF POWER OUTLET
- 220 V POWER OUTLET
- CEILING EXHAUST FAN
- CEILING LIGHT
- SOLAR TUBE
- INTERIOR WALL MOUNT LIGHT
- LIGHT SWITCH
- RECESSED LIGHTING
- CEILING FAN
- FLUORESCENT LIGHT
- LIGHT BAR (SIZE PER OWNER)
- CHANDELIER (STYLE PER OWNER)
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

REVISIONS

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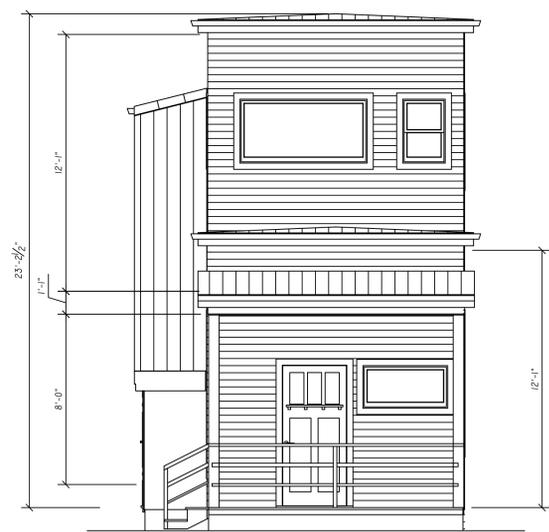
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199 NORTH STATE STREET, LAVERKIN, UTAH 84743
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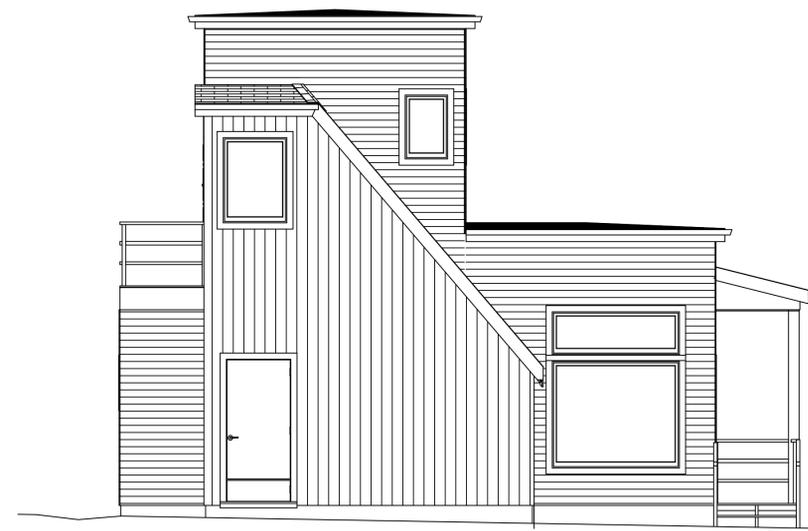
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FLOOR & ELECTRICAL PLANS FOR CABINS 2-1
FOR
BARNEY CABINS
TRAVIS & AMY BARNEY
14720N PARK BLVD
SPRINGDALE, UTAH

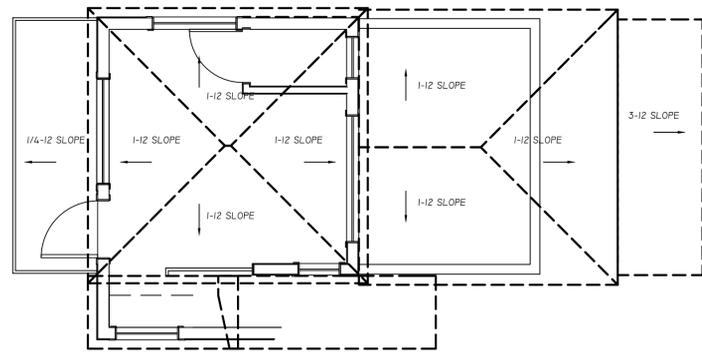
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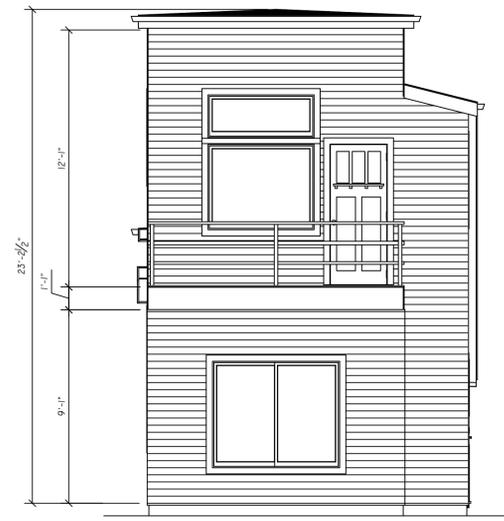
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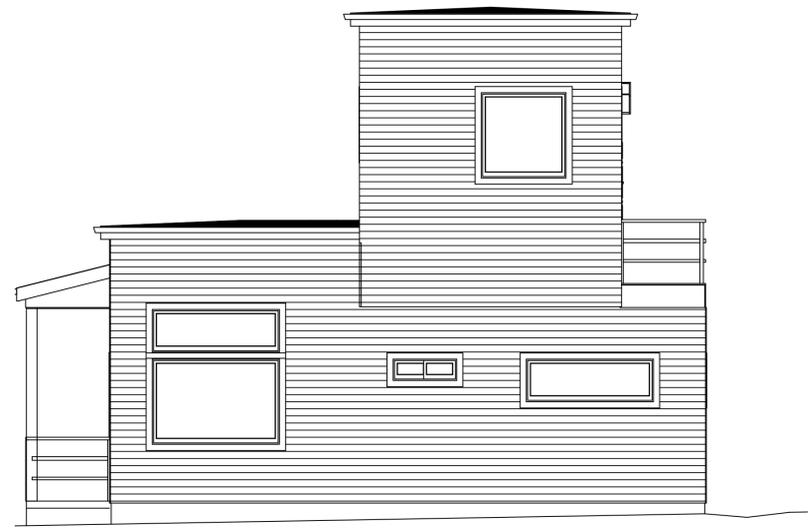
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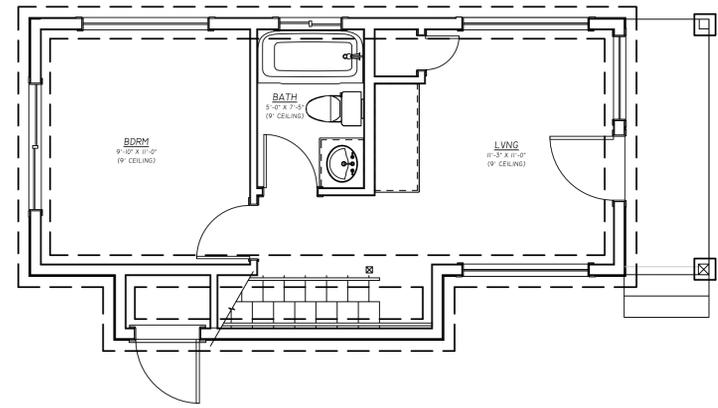
ROOF PLAN
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RIGHT ELEVATION
SCALE - 1/4" = 1'



REAR ELEVATION
SCALE - 1/4" = 1'



FOUNDATION PLAN
SCALE - 1/4" = 1'

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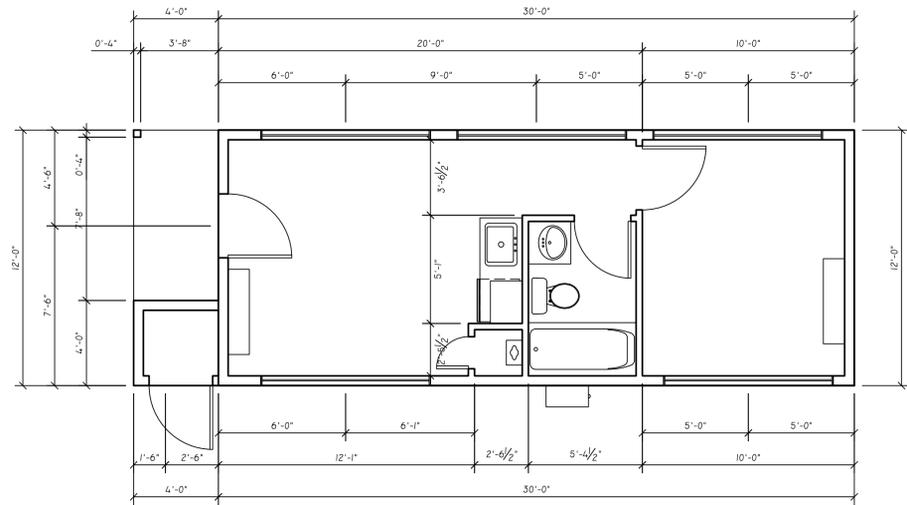
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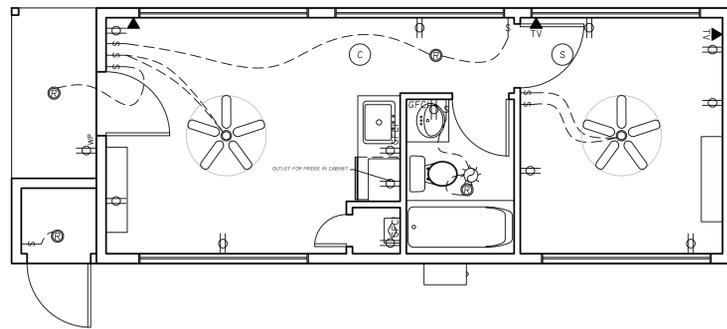
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 FOR
BARNEY CABINS
 TRAVIS & AMY BARNEY
 14720N PARK BLVD
 SPRINGDALE, UTAH

DATE
 OCTOBER 15, 2020
 SCALE:
 1/4" = 1'



MAIN FLOOR PLAN
SCALE - 1/4" = 1'



MAIN FLOOR ELECTRICAL PLAN
SCALE - 1/4" = 1'

ELECTRICAL LEGEND

-  - EXTERIOR WALL MOUNT LIGHT
-  - POWER OUTLET
-  - FLOOR-MOUNTED POWER OUTLET
-  - GFCI - GROUND FAULT INTERRUPTER POWER OUTLET
-  - WATER PROOF POWER OUTLET
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-  - FLUORESCENT LIGHT
-  - LIGHT BAR (SIZE PER OWNER)
-  - CHANDELIER (STYLE PER OWNER)
-  - SMOKE DETECTOR
-  - CARBON MONOXIDE DETECTOR

NO.	DATE	APPROVED BY	REVISIONS

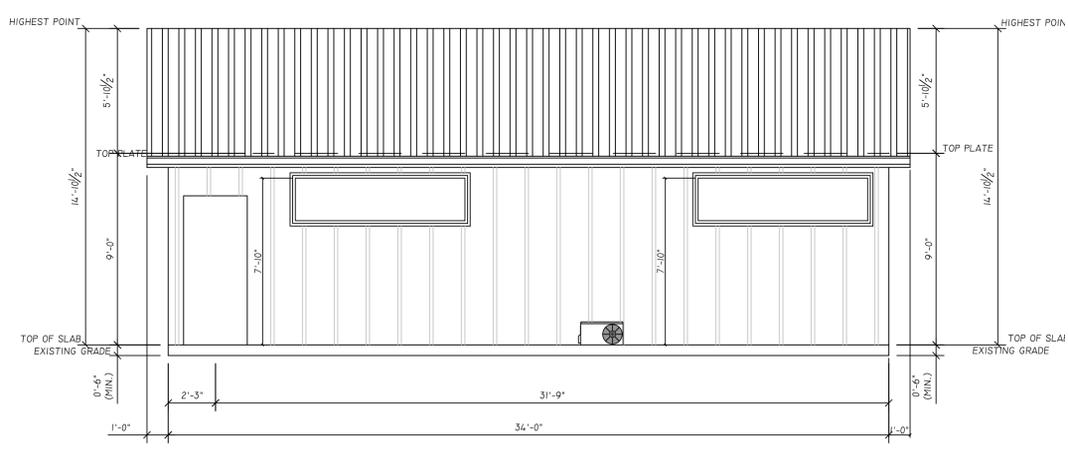
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199 NORTH STATE STREET, LAVERKIN, UTAH 84743
PHONE: (435) 668-9830



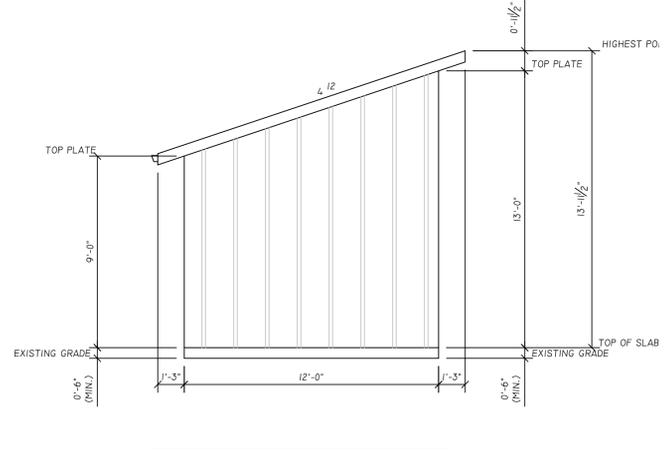
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FLOOR & ELECTRICAL PLANS FOR CABINS 1-1
FOR
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TRAVIS & AMY BARNEY
14720N PARKS BLVD
SPRINGDALE, UTAH

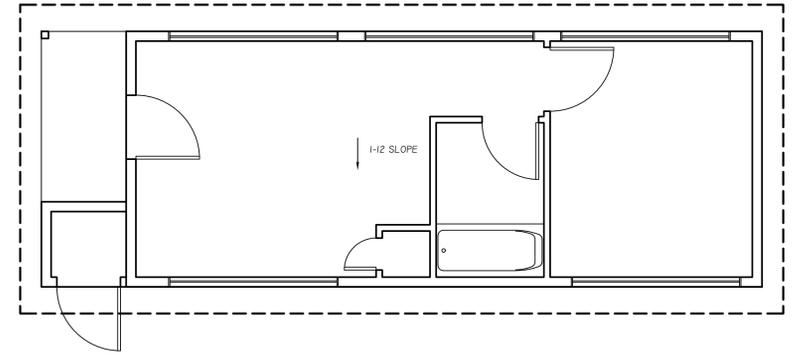
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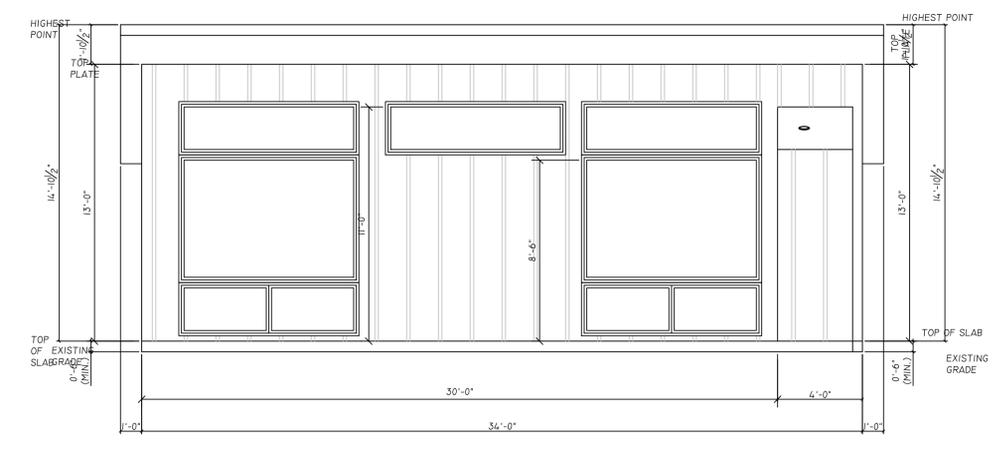
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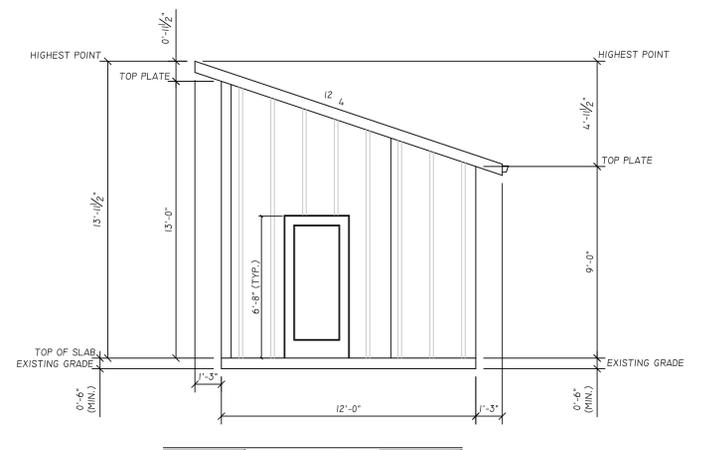
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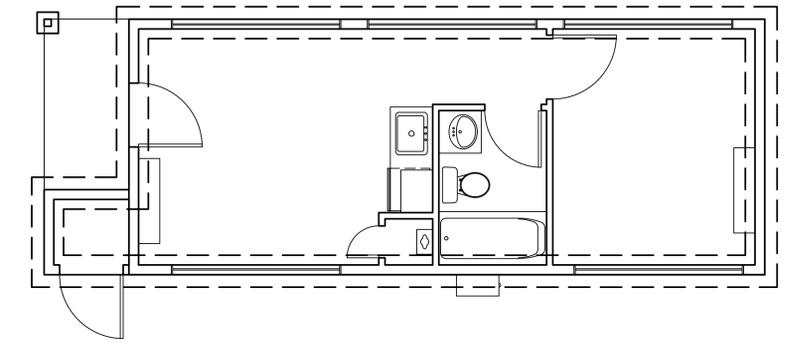
ROOF PLAN
SCALE - 1/4" = 1'



FRONT ELEVATION
SCALE - 1/4" = 1'



RIGHT ELEVATION
SCALE - 1/4" = 1'



FOUNDATION PLAN
SCALE - 1/4" = 1'

NO.	DATE	APPROVED BY	REMARKS

Center Line
 199 NORTH STATE STREET, LAVERKIN, UTAH 84745
 PHONE: (435) 668-9830



JOB # (CLIENT #)
 2009-0048 (1013)
 FILE NAME:
 BLDG PLANS 3-2

ELEVATIONS, ROOF, FOOTING PLANS FOR CABINS 1-1
 FOR
BARNEY CABINS
 TRAVIS & AMY BARNEY
 14720N PARK BLVD
 SPRINGDALE, UTAH

DATE
 OCTOBER 15, 2020
 SCALE:
 1/4" = 1'



Memorandum

To: Planning Commission
From: Thomas Dansie, Director of Community Development
Date: October 16, 2020
Re: October 21, 2020 Planning Commission Meeting
 Design / Development Modification – Parking Area on Parcel S-56, Kurtis Maxwell

Executive Summary

Kurtis Maxwell, representing Rally Stop, has applied for a Design/Development Review for a parking area on Winderland Lane. The parking area will be used by employees and customers of businesses on Winderland Lane. The lot is in the Central Commercial zone and is currently undeveloped.

The proposal complies with all applicable Town standards. The Commission may wish to use the following language to make a motion on the application:

The Commission approves/denies the Design / Development Review for a parking area on parcel S-56. This motion is based on the following findings:

[List findings]

Applicable Ordinances

The Commission may wish to review the following code sections prior to the meeting:

1. Chapter 10-11A: Central Commercial Zone
2. Sections 10-23-6, 10-23-7, and 10-23-9 of the Parking Ordinance

Staff Analysis

The following chart details the proposal’s compliance with applicable land use standards.

Standard	Requirement	Proposal	Comments
<i>Lot Area</i>	The minimum lot size is 0.25 acres.	The subject lot is 9,630 square feet, 0.22 acres.	The property does not comply with minimum size requirements. However, the lot was created prior to 1992. Lots created prior to 1992 are not subject to lot size requirements (see section 10-11A-4).
<i>Setbacks</i>	See section 10-11A-6	Front setback is 15 feet, side and rear is 10 feet.	In compliance.
<i>Building Size</i>	Maximum allowed building size is 8,500	No buildings are proposed.	In compliance.

	square feet. May be increased up to 12,500 square feet if criteria from section 10-11A-5 is met.		
<i>Building Height</i>	If any portion of a building or structure is within 30 feet of SR-9 right of way, the maximum height is 20 feet. If the building is set back 30 feet or more from SR-9, the maximum building height is 26 feet.	No buildings are proposed.	In compliance.
<i>Lighting</i>	Outdoor lighting must be down directed and shielded. Outdoor lighting is only allowed to illuminate the entrances of buildings, outdoor gathering areas, and walkways.	No lighting is proposed.	In compliance.
<i>Landscaping</i>	Must retain 30% of the lot as natural open space or landscape. One tree and four shrubs required for each 1,000 sf of landscape.	The site plan shows 2,889 square feet of lot (30% of area) in landscape. The site plan shows 6 trees and 12 shrubs with a note all will be selected from the Town's plant list.	In compliance.
<i>Colors and Materials</i>	Colors must conform to the color palette regulations. Building material must be compatible with the surrounding environment as per section 10-16-4.	No building is proposed.	In compliance.
<i>Parking Spaces Required</i>	See section 10-23-4 Parking spaces required.	The proposed parking is not intended to fulfill the code requirements for any business. It is supplemental parking for businesses on Winderland Lane.	In compliance.

Other Issues

In addition to the items reviewed above, the parking lot must meet the standards for construction and design on parking areas contained in Chapter 10-23 of the Town Code. The site plan contains notes demonstrating compliance with these standards.



118 Lion Blvd PO Box 187 Springdale UT 84767 435-772-3434

DESIGN/DEVELOPMENT REVIEW APPLICATION

Application is hereby made to the Planning Commission of Springdale, Utah for Design / Development Review pursuant to Section 10-15-5 of the Springdale Town Code, for the following:

APPLICANT INFORMATION

Name Kurtis Maxwell rep. Lower Willow LTD
Street Address 1100 W. 200 N. Cedar City, UT 84720
Mailing Address 1100 W. 200 N. Cedar City, UT 84720
Email kurtis@rallystops.com
Phones: (Home) _____ (Cell) 435-559-0965 (Business) 435-586-1101

PROJECT INFORMATION

Briefly describe the proposed project Proposed improvements to be made for a parking area to be used by employees of adjacent businesses

Project Address Parcel number S-56
Tax Code _____ Number _____ Zone Central Commercial

APPLICATION FEE

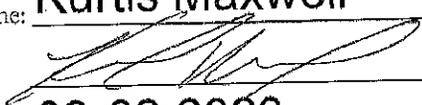
This application will not be considered complete until the appropriate filing fee has been paid.

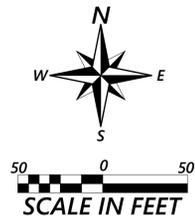
- \$125 for projects reviewed by the DCD.
- \$500 for projects reviewed by the Planning Commission.
- \$150 for revisions to approved Design/Development Review.
- \$25 for fence permit

This Application must be accompanied by a completed Site Analysis before it can be found complete.

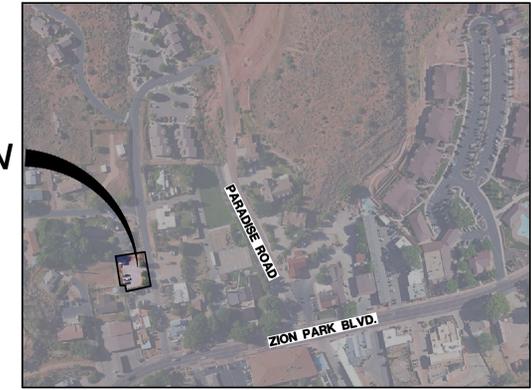
APPLICANT CERTIFICATION

I certify that the information contained in this application and in the attached Site Analysis is true and correct.

Printed Name: Kurtis Maxwell
Signature: 
Date: 09-02-2020



LOCATION



VICINITY PLAN

SCALE: N.T.S.



SITE PLAN

SCALE: 1" = 10'

GENERAL NOTES

- THE PARKING SURFACE IS TO BE GRAVEL. GRAVEL SHALL BE A MINIMUM OF 3/4" IN DIAMETER. GRAVEL LAYER SHALL BE A MINIMUM OF 2" DEEP, OVER A SUBSTRATE OF 4" COMPACTED ROADBASE.
- A TRANSITION OR BARRIER SHALL BE CONSTRUCTED TO PREVENT CARS FROM DRIVING ON THE LANDSCAPING.
- ALL PARKING SPACES WILL HAVE A WHEEL STOP TO IDENTIFY PARKING STALL LOCATION.
- THE LANDSCAPED AREA (30% OF TOTAL LOT MIN.) WILL BE SHOWN ON THE PLAN AND WILL ALSO HAVE THE REQUIRED 1 TREE AND 4 SHRUBS PER 1,000 S.F. OF LANDSCAPING.
- THE MINIMUM LANDSCAPED AREA REQUIRED FOR THIS PROJECT IS 2,889 S.F. THE HATCHED AREA ON THE PLAN SHOWING LANDSCAPING TOTALS AT 4,287 S.F. ANY ADDITIONAL LANDSCAPING PAST THE REQUIRED 2,889 S.F. SHALL BE AT THE DISCRETION OF THE OWNER/ CONTRACTOR.



PROPOSED PARKING LAYOUT
 SPRINGDALE PARKING LOT
 FOR
 RALLYSTOP/ JENKINS OIL
 951 WINDERLAND LN, SPRINGDALE, UT 84767

CHECKED BY: KLM
 DRAWN BY: KNM
 DATE: 9-5-20
 SCALE: 1" = 10'

SHEET NO:

1 OF 1

NOTES

1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
3. A 10.0 FOOT WIDE PUBLIC UTILITY, ROADWAY AND SIDEWALK EASEMENT EXISTS ON ALL FRONT LOT LINES, AND A 7.5 FOOT WIDE PUBLIC UTILITY EASEMENTS EXISTS ON ALL SIDE AND BACK LOT LINES. (AS PER RECORDED FINAL PLAT)
4. THE FIELD WORK WAS PERFORMED ON AUGUST 8, 2018.

SURVEYOR'S CERTIFICATE

I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NUMBER 9481170, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER'S I HAVE SURVEYED THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW.

DATE

TRAVIS W. SANDERS, PLS

BOUNDARY DESCRIPTION

PARCEL 1
 BEGINNING AT A POINT NORTH 89°59'33" WEST 939.96 FEET AND NORTH 695.76 FEET TO A POINT ON THE NORTH LINE OF STATE HIGHWAY 9, FROM THE SOUTHEAST CORNER OF SECTION 29, TOWNSHIP 41 SOUTH, RANGE 10 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH ALONG THE ARC OF A 333.00 FOOT RADIUS CURVE TO THE RIGHT 55.31 FEET THROUGH A CENTRAL ANGLE OF 9°30'58" AND A RADIUS POINT WHICH BEARS SOUTH 52°15' EAST TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG THE NORTHERLY LINE OF SAID HIGHWAY 9 AND ALONG THE ARC OF SAID 333.00 FOOT RADIUS CURVE TO THE RIGHT THE RADIUS POINT OF WHICH BEARS S 44°20' EAST AN ARC LENGTH OF 96.64 FEET TO A POINT ON THE EXTENSION OF THE WEST PROPERTY LINE OF THE HOLMSTEAD PROPERTY AS RECORDED IN BOOK 968, AT PAGE 177, OF OFFICIAL RECORDS OF WASHINGTON COUNTY, UTAH; THENCE ALONG SAID WEST LINE AND ITS EXTENSION, NORTH 10°38'26" WEST 142.04 FEET, MORE OR LESS, TO A RETAINING WALL; THENCE SOUTH 78°00'00" WEST ALONG SAID RETAINING WALL, 106.67 FEET TO THE EAST LINE OF WEST TEMPLE DRIVE, AS SHOWN ON THE WEST TEMPLE DRIVE ROAD DEDICATION MAP PREPARED BY MARK A. SCHRAUT, LAND SURVEYOR, UTAH LICENSE NO. 187849; THENCE ALONG SAID EAST LINE OF WEST TEMPLE DRIVE, SOUTH 11°23'47" EAST, 6.91 FEET; THENCE SOUTH 12°06'59" EAST, 165.77 FEET, ALONG SAID EASTERLY LINE TO THE POINT OF A 10.00 FOOT RADIUS CURVE TO THE LEFT; THENCE SOUTHEASTERLY AND NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 120°32'56", A DISTANCE OF 21.04 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY OF SAID STATE HIGHWAY 9 AND THE POINT OF BEGINNING

PARCEL 2
 BEGINNING AT A POINT SOUTH 79°30' WEST 62 FEET FROM THE SOUTHEAST CORNER OF LOT 21, SPRINGDALE TOWNSITE SURVEY TO THE SOUTHWEST CORNER OF THE HOLMSTEAD PROPERTY AS RECORDED IN BOOK 968, AT PAGE 177, OF OFFICIAL RECORDS OF WASHINGTON COUNTY, UTAH, AND RUNNING THENCE NORTH 10°35' WEST ALONG SAID WEST LINE A DISTANCE OF 47.50 FEET; THENCE NORTH 84°30' EAST A DISTANCE OF 9.17 FEET; THENCE SOUTH 16° EAST A DISTANCE OF 46.1 FEET, MORE OR LESS, TO THE SOUTH BOUNDARY LINE OF HOLMSTEAD PROPERTY; THENCE SOUTH 78°50'49" WEST A DISTANCE OF 12.7 FEET, MORE OR LESS, TO THE POINT OF BEGINNING

PARCEL 3
 EXCEPTING FROM PARCELS 1 AND 2 ANY PORTION LYING WITHIN THE BOUNDS OF STATE HIGHWAY SR-9 ALONG THE SOUTH SIDE THEREOF

PARCEL 4
 BEGINNING AT A POINT SOUTH 78° WEST 62.0 FEET AND NORTH 10°35' WEST 125.0 FEET FROM THE SOUTHEAST CORNER OF LOT 21, OF THE SPRINGDALE TOWNSITE SURVEY, AS PLATTED ON THE OFFICIAL MAP OF SAID SURVEY, AND RUNNING THENCE NORTH 10°35' WEST 83.0 FEET, MORE OR LESS, TO A POINT SOUTH 10°35' EAST 90.0 FEET FROM THE NORTHERLY LINE OF SAID LOT 21; THENCE SOUTH 84°30' WEST PARALLEL WITH THE NORTH LINE OF SAID LOT 21, A DISTANCE OF 100.0 FEET; THENCE SOUTH 10°35' WEST 91.0 FEET, TO A POINT NORTH 10°35' WEST 125.0 FEET FROM THE SOUTHERLY LINE OF SAID LOT 21; THENCE NORTH 78° EAST, PARALLEL WITH THE SOUTHERLY LINE OF SAID LOT 21, A DISTANCE OF 99.92 FEET, MORE OR LESS, TO THE POINT OF BEGINNING

PARCEL 5
 BEGINNING AT A POINT NORTH 10°35' WEST 288.42 FEET FROM THE SOUTHEAST CORNER OF LOT TWENTY-ONE (21), OF THE SPRINGDALE TOWNSITE SURVEY, AS PLATTED ON THE OFFICIAL MAP OF SAID SURVEY ON FILE IN THE OFFICE OF THE RECORDER OF WASHINGTON COUNTY, RUNNING THENCE SOUTH 84°30' WEST 62.25 FEET; THENCE SOUTH 10°35' WEST 115.0 FEET; THENCE NORTH 84°30' EAST 62.25 FEET; THENCE NORTH 10°35' WEST 115.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING

LESS AND EXCEPTING THEREFROM
 BEGINNING AT A POINT NORTH 10°35' WEST 173.42 FEET FROM THE SOUTHEAST CORNER OF LOT 21, SPRINGDALE TOWNSITE SURVEY, AND RUNNING THENCE SOUTH 84°30' WEST 62.25 FEET; THENCE NORTH 10°35' WEST 10.25 FEET THENCE N 79°30' EAST 62.0 FEET; THENCE SOUTH 10°35' EAST 15.67 FEET, MORE OR LESS, TO THE POINT OF BEGINNING

PARCEL 5: "DIMENSIONS NOT LABELED"
 BEGINNING AT THE EAST 1/4 CORNER OF SECTION 29, TOWNSHIP 41 SOUTH, RANGE 10 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE SOUTH ALONG THE SECTION LINE, 1360.17 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4SE1/4) OF SAID SECTION 29, THENCE ALONG THE 1/16 SECTION LINE, SOUTH 89°59'03" WEST 1333.09 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4SE1/4); THENCE SOUTH 0°15'47" WEST ALONG THE 1/16 SECTION LINE, 234.87 FEET; THENCE SOUTH 70°00' EAST 107.50 FEET; THENCE SOUTH 65°13' EAST 61.41 FEET TO THE POINT ASSUMED TO BE THE NORTHWEST CORNER OF LOT 21 OF THE SPRINGDALE TOWNSITE SURVEY; THENCE NORTH 83°20' EAST 285.19 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 83°20' EAST 1.17 FEET; THENCE NORTH 80°54' EAST 76.67 FEET; THENCE SOUTH 10°39'26" EAST 115.00 FEET; THENCE SOUTH 79°25'34" WEST 62.00 FEET; THENCE SOUTH 10°38'26" EAST 194.42 FEET; THENCE SOUTH 79°25'34" WEST 106.66 FEET; THENCE NORTH 12°08'06" WEST 133.50 FEET; THENCE NORTH 11°24'54" WEST 98.58 FEET; THENCE NORTH 83°03'28" EAST 95.86 FEET; THENCE NORTH 10°39'26" WEST, 86.33 FEET TO THE TRUE POINT OF BEGINNING

EXCEPTING THEREFROM THAT PORTION LYING WITHIN THE BOUNDS OF PARCELS 1 THRU 4 ABOVE
 BEGINNING AT A POINT S 0°55'11" W 1360.61 FEET ALONG THE EAST LINE OF SECTION 29, TOWNSHIP 41 SOUTH, RANGE 10 WEST, SALT LAKE BASE AND MERIDIAN, AND S 89°05'46" W 1333.95 FEET, TO THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4SE1/4), ALSO BEING THE NORTHWEST CORNER OF WINDERLAND SUBDIVISION 1-A, RECORDED AND ON FILE AT THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH, AND ALONG SAID SUBDIVISION BOUNDARY THE FOLLOWING THREE COURSES, S 1°10'58" E 234.87 FEET AND S 69°04'49" E 107.50 FEET AND S 64°17'49" E 61.41 FEET, TO THE POINT ASSUMED TO BE THE NORTHWEST CORNER OF LOT 21 OF THE SPRINGDALE TOWNSITE SURVEY AND N 84°15'11" E 285.19 FEET CONTINUING ALONG SAID BOUNDARY, AND RUNNING THENCE ALONG SAID BOUNDARY THE FOLLOWING TWO (2) COURSES, (1) THENCE N 84°15'11" E 1.17 FEET, (2) THENCE N 81°49'11" E 76.67 FEET, TO A POINT ON THE WESTERLY RIGHT OF WAY OF WINDERLAND LANE; THENCE S 8°39'49" E 97.38 FEET, TO THE NORTHEAST CORNER OF A BOUNDARY LINE AGREEMENT SHOWN ON RECORD OF SURVEY, DOCUMENT NO. 3763-03, RECORDED AND ON FILE AT THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH; THENCE ALONG SAID BOUNDARY LINE AGREEMENT THE FOLLOWING EIGHT (8) COURSES, (1) THENCE S 77°31'32" W 63.79 FEET, (2) S 10°34'07" E 162.33 FEET, (3) THENCE N 80°31'04" E 2.92 FEET, (4) THENCE S 13°13'24" E 5.26 FEET, (5) THENCE N 78°55'47" E 4.60 FEET, (6) THENCE S 13°44'11" E 25.07 FEET, (7) THENCE S 82°19'25" W 10.93 FEET; THENCE S 10°15'04" E 18.43 FEET, TO A POINT ON A 333.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, WITH A RADIUS WHICH BEARS S 25°08'13" E, POINT ALSO BEING ON THE NORTHWESTERLY RIGHT OF WAY OF HIGHWAY 9; THENCE ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY, 96.64 FEET THROUGH A CENTRAL ANGLE OF 16°37'40", TO A POINT ON THE EASTERLY RIGHT OF WAY OF WEST TEMPLE DRIVE, POINT ALSO BEING ON A 10.00 FOOT RADIUS CURVE TO THE RIGHT, THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING FOUR (4) COURSES, (1) THENCE ALONG THE ARC OF SAID CURVE 21.04 FEET THROUGH A CENTRAL ANGLE OF 120°32'56", (2) THENCE N 11°25'7" W 165.77 FEET, (3) THENCE N 10°29'43" W 73.63 FEET, TO A POINT ON A PARCEL MORE PARTICULARLY DESCRIBED IN INSTRUMENT NO. 560327, RECORDED AND ON FILE IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH; THENCE ALONG SAID PARCEL THE FOLLOWING THREE (3) COURSES, (1) THENCE N 10°29'43" W 24.95 FEET, (2) THENCE N 84°27'37" E 95.86 FEET, (3) THENCE N 9°44'15" W 86.33 FEET, TO THE POINT OF BEGINNING.

CONTAINS 34,423 SQ FT OR 0.79 ACRE MORE OR LESS



INFRASTRUCTURE, INC.
 1453 S DIXIE DR, SUITE 150
 ST. GEORGE, UT 84770
 435-986.0100
CIVIL SCIENCE

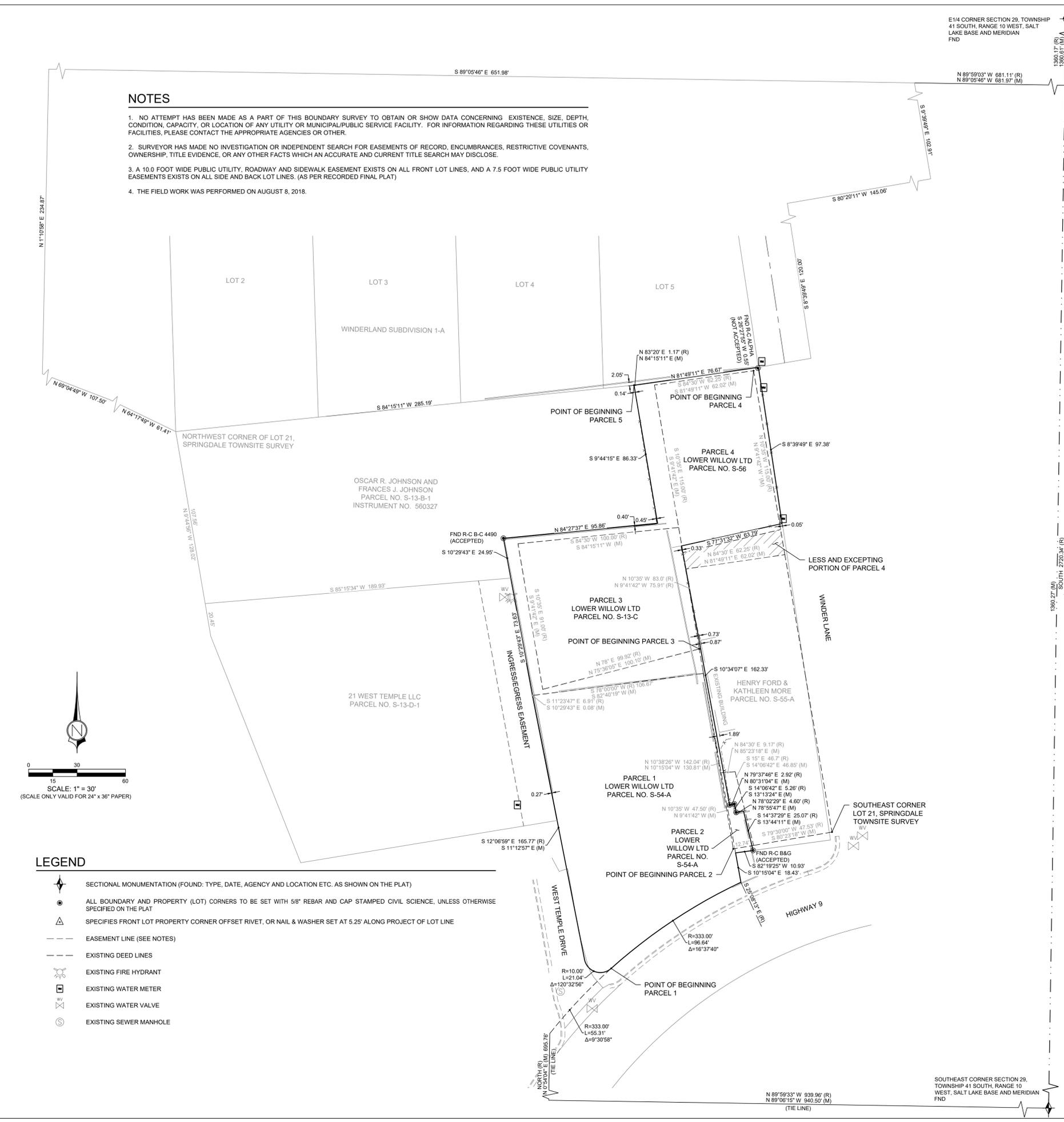
RECORD OF SURVEY PLAT
 LOCATED IN
 SE 1/4 OF SECTION 29, TOWNSHIP 41 SOUTH, RANGE 10 WEST,
 SALT LAKE BASE & MERIDIAN

PROJ #: FF18179
 DRAWN BY: PJW
 DATED: 8-14-2018
 CHECKED BY: TWS
 SCALE OF SHEET
 HOR SCALE: 1" = 30'

SHEET
 1
 OF
 1

RECORD OF SURVEY PLAT

LOCATED IN
 SE 1/4 OF SECTION 29, TOWNSHIP 41 SOUTH, RANGE 10 WEST,
 SALT LAKE BASE AND MERIDIAN
 PREPARED FOR:
 RALLYSTOP



- LEGEND**
- ◆ SECTIONAL MONUMENTATION (FOUND: TYPE, DATE, AGENCY AND LOCATION ETC. AS SHOWN ON THE PLAT)
 - ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH 5/8" REBAR AND CAP STAMPED CIVIL SCIENCE, UNLESS OTHERWISE SPECIFIED ON THE PLAT
 - △ SPECIFICS FRONT LOT PROPERTY CORNER OFFSET RIVET, OR NAIL & WASHER SET AT 5.25' ALONG PROJECT OF LOT LINE
 - EASEMENT LINE (SEE NOTES)
 - - - EXISTING DEED LINES
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ EXISTING WATER METER
 - ⊕ EXISTING WATER VALVE
 - ⊕ EXISTING SEWER MANHOLE



Memorandum

To: Planning Commission
From: Thomas Dansie, Director of Community Development
Date: October 16, 2020
Re: **October 21, 2020 Planning Commission Meeting**
Zone Change Proposal: PU Zone Change on Multiple Properties

Executive Summary

Town staff recommends zoning the Town-owned lots in the Balanced Rock Hills subdivision and the Springdale Elementary School property as Public Use. These properties have uses that are a better fit with the Public Use zone than their current zoning designations. Placing them in the Public Use zone will make the zoning designation more consistent with the properties' uses.

The Commission may wish to use the following language when making a motion on this item:

The Commission recommends approval/denial of the following zone changes:

- 1- *Central Commercial (CC) to Public Use (PU) on the Springdale Elementary School property at 898 Zion Park Boulevard (parcel S-60).*
- 2- *Foothill Residential (FR) to Public Use (PU) on the following lots in the Balanced Rock Hills Subdivision: 1, 3, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 25, 27, 31, 32, 34, 35, 36, 37, 38, 39, 40, 41, 44, 45, 46, 47, 48, 49, 50, 51, 52.*
- 3- *Foothill Residential (FR) to Public Use (PU) on parcels S-135-C and S-135-E.*

This motion is based on the following findings:

[List findings]

Applicable Ordinances

The Commission may wish to review the following ordinances prior to the meeting:

- 1- Section 10-3-2: Amendments
- 2- Chapter 10-12: Public Use Zone
- 3- General Plan

Background

Last year the Town changed the zone on a number of properties that have a public use, and will likely never have any other use other than a public use, that were not in the Public Use Zone. Many of these lots were non-conforming with various land use requirements. All had uses that are either non-conforming for the zone in which they were located, or a better fit for the Public Use zone. The Town changed the zone on these lots to make the use of the property conform to the correct land use designation.

The Town has identified a number of additional properties that fit the criteria described above—they are a better fit for the Public Use zone than the current zoning designation. Staff recommends these properties be rezoned Public Use as well. These properties are:

- The Springdale Elementary School property.
- The Town-owned lots in the Balanced Rock Hills subdivision.
- Town-owned parcels adjacent to the Balanced Rock Hills subdivision.

The following staff analysis discusses the different properties in two groups: 1) the elementary school property, and 2) the Town-owned properties in and around the Balanced Rock Hills subdivision. These properties are being presented together for efficiency sake. However, they need to be analyzed independently for zone change approval.

The Commission can hold one public hearing to accept public comment on all properties together. This would be the most efficient. Alternatively, the Commission is welcome to hold a separate public hearing on any individual parcel that may have unique concern.

Staff Analysis

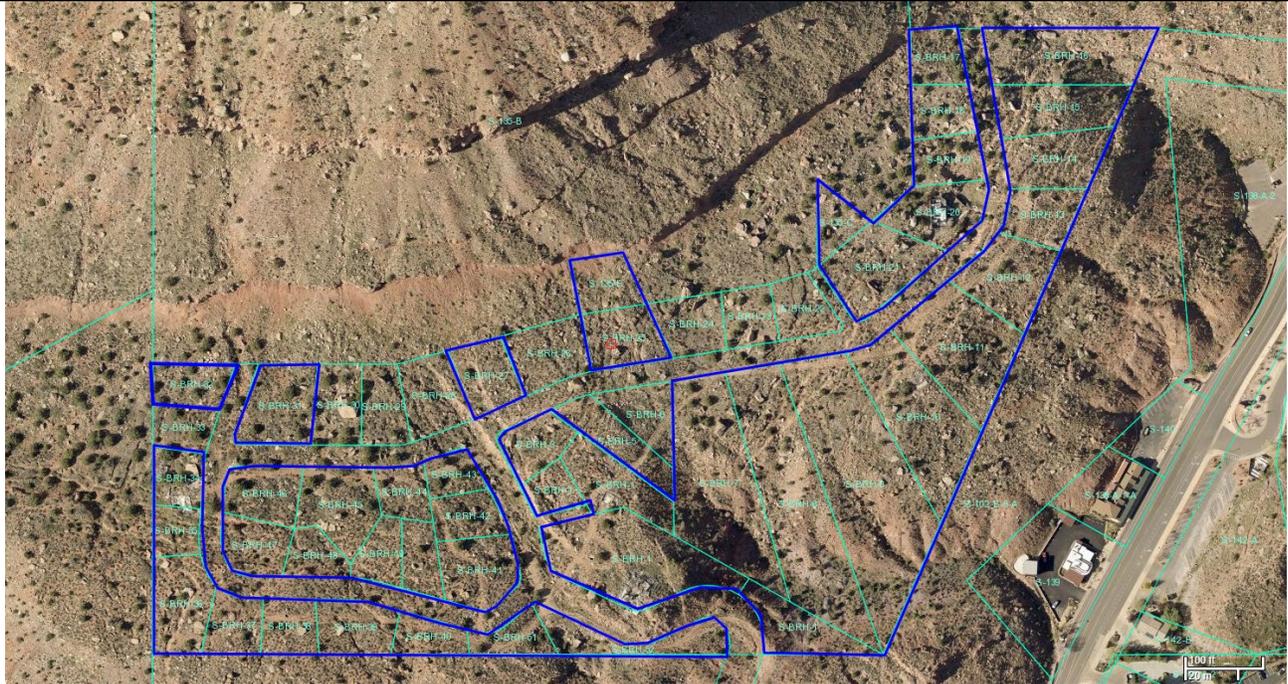
According to section 10-3-2 of the Town Code, it is the policy of the Town not to make zone changes, except in three specific instances: 1) to promote more fully the objectives and purposes of the land use ordinance and general plan, 2) to correct manifest errors, or 3) to accommodate substantial changes in conditions. Thus, at least one of these three criteria must be met for the Commission to recommend approval of the zone change.

The two groups of properties listed above are analyzed according to these criteria on the following pages.

Parcel Number	S-60 (Springdale Elementary School)
General Location	In the Town's central business district
Property Size	1.43 acres
Current Zone	Central Commercial
FLUM Designation	Commercial Core (majority), Transition Residential (small portion)
Current Use	Elementary school
Comment	This property is the long-time home of the Springdale Elementary school. While educational uses are allowed in the Central Commercial zone, the current and probable long-term use of this property is non-commercial public use. Placing the property in the PU zone matches the current and probable long-term use.
Zone Change Criteria	1) Promotes the general plan by bringing the zoning of the property into compliance with the property's current use and development as a public school.



Parcel Numbers	S-BRH-1,3,7,8,9,10,11,12,13,14,15,16,17,18,19,20,21,25,27,31,32,34,35,36,37,38,39,40,41, 44,45,46,47,48,49,50,51,52 S-135-C S-135-E
General Location	Within and adjacent to the Balanced Rock Hills Subdivision, on the hillside above the Cliffrose Lodge
Property Size	Varying sizes from 7,200sf to 70,000sf. Total of all properties is approximately 20.8 acres.
Current Zone	FR
FLUM Designation	Conservation
Current Use	Vacant lots in and around Balanced Rock Hills Subdivision
Comment	The Town acquired these lots to preserve as open space. Rezoning them to Public Use will be consistent with the Town's objectives to preserve open space and prevent development on these lots.
Zone Change Criteria	1) Promotes the general plan by ensuring that this property in a geologically hazardous and visually significant area will remain open (with no residential development).



Public Comment

There has not been any public comment on this item.

Planning Commission Findings

The Commission should make the following findings about the proposed zone change:

- 1- Will changing the zone of the subject parcels to PU meet the criteria for zone changes, as established in section 10-3-2 of the Town Code?
 - a. Will the proposed zoning changes promote the goals and objectives of the general plan?
 - b. Will the proposed zoning changes accommodate substantial changes in conditions?
 - c. Will the proposed zoning changes correct manifest errors?

Sample Motion

The Commission may wish to use the following sample ordinance language when making a motion on this item:

*The Planning Commission recommends **APPROVAL / DENIAL** of the following zone changes:*

- 1- *Central Commercial (CC) to Public Use (PU) on the Springdale Elementary School property at 898 Zion Park Boulevard (parcel S-60).*
- 2- *Foothill Residential (FR) to Public Use (PU) on the following lots in the Balanced Rock Hills Subdivision: 1, 3, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 25, 27, 31, 32, 34, 35, 36, 37, 38, 39, 40, 41, 44, 45, 46, 47, 48, 49, 50, 51, 52.*
- 3- *Foothill Residential (FR) to Public Use (PU) on parcels S-135-C and S-135-E.*

This motion is based on the following findings:

[List Findings]