

1. August 19, 2020 - Agenda

Documents:

[081920.PCM.COURTESY.PDF](#)

2. August 19, 2020 - Packet

Documents:

[ITEM A1 - PC REPORT 8-19-20.PDF](#)

[PUBLIC COMMENT - SUSAN HOOVER.PDF](#)

[PUBLIC COMMENT - ALEX GOODMAN 1_REDACTED.PDF](#)

[PUBLIC COMMENT - ALEX GOODMAN 2_REDACTED.PDF](#)



118 Lion Blvd ◦ PO Box 187 ◦ Springdale, UT 84767 ◦ (435) 772-3434

PLANNING COMMISSION NOTICE AND AGENDA
THE SPRINGDALE PLANNING COMMISSION WILL HOLD A REGULAR MEETING
ON WEDNESDAY AUGUST 19, 2020 AT 5:00 PM

This Commission meeting will not have an anchor location and will be conducted entirely via electronic means. Commission members will connect remotely. The meeting will be available to the public for live viewing. If you do not have access to the internet, you can join the audio via telephone.

****Please see electronic login information below.**

Attending Clerk: Katy Brown

Approval of the agenda
General discussion and announcements

A. Action Items

1. Residential Design/Development Review: Canyon Springs Estates Lot 21, Sean and Ann Keightley

B. Consent Agenda

1. Minutes from July 15th and August 5th

C. Adjourn

Join Zoom Meeting:

<https://us02web.zoom.us/j/84075437787?pwd=SzcvQmxZaFBlakZKc3MrL0Q4djJ0UT09>

Meeting ID: 840 7543 7787

Passcode: 3pAts0

One tap mobile

+12532158782,,84075437787#,,,,,0#,,873373# US (Tacoma)

+13462487799,,84075437787#,,,,,0#,,873373# US (Houston)

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Find your local number: <https://us02web.zoom.us/j/kcBpolSns>

This notice is provided as a courtesy to the community and is not the official notice for this meeting/hearing. This notice is not required by town ordinance or policy. Failure of the Town to provide this notice or failure of a property owner, resident, or other interested party to receive this notice does not constitute a violation of the Town's noticing requirements or policies. If you have questions regarding any of the agenda items, or other community development comments, please contact Community Development staff at 435-772-3434 or tdansie@springdaletown.com.

The Town of Springdale complies with the Americans with Disabilities Act by providing accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for Town sponsored public meetings, services, programs, or events should call Springdale Town Clerk Darci Carlson (435.772.3434) at least 24 hours before the meeting.

Packet materials for agenda items will be available by August 14, 2020 at: <https://www.springdaletown.com/AgendaCenter/Planning-Commission-7>



Memorandum

To: Planning Commission
From: Thomas Dansie, Director of Community Development
Date: August 13, 2020
Re: August 19, 2020 Town Council Meeting
Residential Design / Development Review – Canyon Springs, Lot 21

Executive Summary

Sean and Ann Keightley have applied for a residential Design/Development Review on Canyon Springs, Lot 21. Typically, residential DDR's are approved at the staff level. However, the subject lot is a "view obstructing" lot. Staff can refer residential DDR's that are complex or potentially controversial to the Commission for review. Because of the "view obstructing" nature of the lot, staff is forwarding the application to the Commission for action.

DDR's are based on standards established in the ordinance. If the application meets all standards the Planning Commission must approve the application. Based on staff's review, the proposed development meets all applicable standards. Staff recommends the Commission approve the application. The Commission may wish to use the following sample language for a motion:

The Planning Commission finds that the proposed development on Canyon Springs, Lot 21 as depicted in the application materials meets all applicable land use standards. The Commission approves the Residential Design/Development Review for Canyon Springs, Lot 21 as presented in the application, subject to the following conditions:

- 1. The recessed can lighting must have light sources recessed at least 2" above the bottom of the fixture and have a light color temperature of 3,000 degrees Kelvin or less.***
- 2. The driveway and other lot coverage not associated with the building or patios shown on the site plan cannot exceed 877 sq ft in area.***
- 3. Two replacement plants must be provided if the large mature Juniper tree at the back of the home is removed.***

Applicable Ordinances

The Commission may wish to review the following ordinances prior to the meeting:

- Chapter 10-9A: Foothill Residential Zone
- Chapter 10-15: Design/Development Review
- Canyon Springs section of the Zion Park Resort Settlement Agreement (attached)

Background

The subject lot is in the Foothill Residential zone. Because the lot is in Canyon Springs, development on the lot is regulated by both the FR zone and the Canyon Springs portion of the Zion Park Resort settlement agreement.

The property has a relatively flat building area constrained by a wash on one side and steep slopes (in excess of 30% grade) on the other. The applicant has sited the home in between these two natural features.

Based on a site visit and pole test conducted earlier this year the lot has been designated a “view obstructing” lot. View obstructing lots are subject to the design standards in section 10-9A-13(C). Most notably, building height on view obstructing parcels is limited to 20 feet, or the height at which the structure will not obstruct views from surround properties (up to a max of 25 feet).

Because of the complexities associated with the 30% grades and view obstructing nature of the lot, staff is referring this application to the Planning Commission for review.

Staff Analysis

Standard	Requirement	Proposal	Comments
<i>Setbacks</i>	Setbacks are established in the Canyon Sprigs portion of the Zion Park Resort Settlement Agreement. Setbacks are 30’ front, 10’ side, 15’ rear.	The home is setback over 100’ from the front (along Canyon Cove), 20’ or more from both sides, and a minimum of 30’ from the rear.	In compliance.
<i>Building Size</i>	Maximum allowed building size is 5,000 square feet, including garage and all covered functional areas.	The total building size including garage and covered functional areas is 4,972 sq ft.	In compliance.
<i>Building Height</i>	Buildings on view obstructing lots are limited to 20 feet in height, or the height at which they no longer interrupt the view of the Navajo Sandston (up to 25’).	The applicant has submitted plans showing the proposed home in compliance with a 20-foot height limit.	In compliance.
<i>Lighting</i>	Outdoor lighting must be down directed and shielded. Outdoor lighting is only allowed to illuminate the entrances of buildings, outdoor gathering areas, and walkways.	The outdoor lighting plan shows recessed can lights and wall mounted sconce lighting in functional areas. A sample light fixture. The light is 3,000 K or less and has a recessed light source. Staff notes the recessed can lights will need to meet these same standards.	In compliance, with the condition that the recessed can lighting must have light sources recessed at least 2” above the bottom of the fixture and have a light color temperature of 3,000 degrees Kelvin or less.

<i>Landscaping</i>	Per the Canyon Springs section of the Zion Park Resort Settlement Agreement, lot coverage on this lot is limited to 20% of the lot area.	20% of the lot area equals 7,040 square feet. The total lot coverage for building and patio area is 6,163 sq ft. That leaves 877 sq ft for the driveway and other lot coverage. If the driveway is the width of the garage and covers the entire distance between the garage and the street it would cover 700 sq ft.	In compliance, with the condition that the driveway and other lot coverage not associated with the building or patios shown on the site plan cannot exceed 877 sq ft in area.
<i>Colors and Materials</i>	Colors must conform to the color palette regulations. Building material must be compatible with the surrounding environment as per section 10-16-4.	The applicant has submitted photographs showing the building materials: stacked stone, red-brown stucco, brown painted metal trim on fascia, metal roof)	In compliance.
<i>Natural Vegetation</i>	Native vegetation six feet in height or greater must be replaced by two plants of the same or similar species if removed.	There is one large mature Juniper tree near the rear portion of the building. If removed, two additional trees must be planted.	Staff recommends a condition that requires two replacement plants to be provided if the large mature Juniper tree at the back of the home is removed.

River and Highway SR-9 as shown on the Development Plan attached as Exhibit A.

8. Maximum Number of Units: In this Parcel 2, the maximum number of hotel/motel units allowed shall be 160.

C. PARCEL 3: CONDOMINIUMS (5.67 ACRES)

1. Application of Village Commercial Zone: Parcel 3 is currently zoned Valley Residential. However, Parcel 3 shall be controlled by the terms of the Village Commercial zone and all other applicable terms of the Ordinance, subject to the provisions of Sections II.C and III.

2. Additional Permitted Uses: The uses allowed on this Parcel shall be those allowed under the Village Commercial Zone as currently set forth in the Ordinance, plus condominiums to be used as residences or transient lodging facilities.

3. Coverage: Maximum "coverage" shall be thirty percent (30%) of the "Net Developable Acreage."³

D. PARCEL 4: SINGLE FAMILY RESIDENTIAL (72.76 ACRES)

1. Current Zone Classification; Clustering of Homes: Parcel 4 is currently comprised both of Valley Residential and Foothill Residential zoning classifications and Town does not intend to rezone this Parcel. However, Town encourages the clustering of homes to enhance open space. Clustering of homes can only occur below 3950' elevation. Development in this Parcel shall be governed by the terms of the Valley Residential zone and the Foothill Residential zone, except as the terms of such zone districts are super-seded by Sections II.D and III. A private club house and related recreational facilities shall be allowed as Additional Permitted Uses in this Parcel.

2. Lot Area: Lot area shall average at least one-half (1/2) acre but in no event shall any lot be less than 15,000 square feet.

³ "Footprint" shall be defined to mean the land area covered by a building, and consequently may differ from "floor area" as defined under the Ordinance. Thus, such floor area of a building may exceed or be a multiple of the footprint of such building due to the existence of multiple stories and /or basements. The footprint of a building is used in determining permissible coverage of an area. "Coverage" is a percentage of "Net Developable Acreage" and such terms are defined in the Ordinance, except as otherwise provided for in this Agreement. As a point of clarification under the definition of Net Developable Acreage as defined in the Ordinance, yard requirements have been interpreted not to be a limiting factor on Net Developable Acreage and minimum distance from the boundary of the floodplain or other natural waterway is ten (10) rather than thirty (30) feet.

3. Lots Above 3950' Elevation: With regards to lots above 3950' feet, if any, the terms of the Ordinance shall apply to such lots in all respects.

4. Yard Requirements. For each lot or parcel within the this Parcel the required setbacks are as follows:

- (a) Front Yard. Each lot or parcel of land shall have a front yard of not less than thirty (30) feet.
- (b) Side Yard. Each lot or parcel of land shall have a side yard of not less than ten (10) feet.
- (c) Rear Yard. Each lot or parcel of land shall have a rear yard of not less than fifteen (15) feet.

5. Building Height. Structures above 3950' elevation contour shall be limited to one (1) story in height.

6. Permissible Lot Coverage. The following chart shall regulate maximum lot coverage for lots below 3950' elevation, subject to the exceptions, conditions, and restrictions set forth below:

less than 1/2 acre	35% Coverage of the lot
less than 3/4 acre	30% Coverage of the lot
3/4 acre	25% Coverage of the lot
greater than 3/4 acre	20% Coverage of the lot
greater than 5 acres	10% Coverage of the lot

Exceptions, conditions, and restrictions:

(a) No permitted or conditional use shall be allowed within ten (10) feet from the boundary of the floodplain or any other natural waterway. Accessory uses and buildings shall not be allowed in the floodplain unless specifically approved as provided by Chapter 12.15 of the Ordinance. Accessory uses and buildings shall not be allowed within ten (10) feet of the boundary of the floodplain or any other natural waterway unless specifically approved as provided in Section 12.21.080 of the Ordinance.

(b) Permitted, conditional, and accessory uses shall not be constructed (i) on slopes of thirty percent (30%) grade or more or (ii) where an unreasonable risk of harm to the property and the general public from natural hazards such as a flood, landslide, rockfall, a high water table, or inordinate soil erosion persist and cannot be overcome by full compliance with applicable provisions of the Ordinance, the

Uniform Building Code and other related Uniform Codes and other ordinances of Town governing topographic, structural, and general design standards necessary to meet maximum foreseeable risk of such hazards.

7. Maximum Number of Homes: The maximum number of homes on this Parcel shall be forty (40) homes.

8. Open Space: Open space is to be protected by a conservation easement in form and substance reasonably acceptable to both parties, but allowing for the construction of a club house and amenities, necessary utilities, water storage facilities and access roads thereto.

9. Private Roads: The development on this Parcel is contemplated to be a Residential Planned Development. All roads shall be private and maintained by an association of homeowners within the Residential Planned Development. Road widths shall be as required by agencies providing emergency services from the county, Town, and special service districts, but in no event shall the roads be less than twenty-four (24) feet in width. The bridge, however, may be of lesser width if allowed under the provisions of II.D.11. Road base and road surface material shall be approved by Town's engineer according to the practice in the industry. There will be no general public access to this Parcel, except for emergency services and providing public utilities.

10. Curb, gutter, and sidewalk: The development on this Parcel will not require curb, gutter, or sidewalks; however, ZPR shall provide for an alternative surface water drainage system which meets specifications provided by Town's engineer and by any County, State or Federal agency which has jurisdiction over such matters.

11. Bridge Access: The bridge accessing this Parcel may be narrower than a publicly dedicated road, so long as it (i) meets the applicable requirements of agencies providing emergency services from the county, Town, and special service districts and (ii) complies with standards set forth in American Association of State Highway and Transportation Officials, A Policy of Geometric Design of Highways and Streets (1990).

12. Sewer System: Encroachment into the flood plain for purposes of installing a septic tank and drain field shall be permitted so long as it (i) complies with Section 12.15.090.B (provided that septic tanks and drainfields shall not be prohibited) and (ii) is acceptable to the County, State, and Federal agencies which may dictate policy with respect to the flood plain and waste water treatment.



Received
4/7/2020
TD
\$500- ck# 1006

118 Lion Blvd PO Box 187 Springdale UT 84767 435-772-3434

DESIGN/DEVELOPMENT REVIEW APPLICATION

Application is hereby made to the Planning Commission of Springdale, Utah for Design / Development Review pursuant to Section 10-15-5 of the Springdale Town Code, for the following:

APPLICANT INFORMATION

Name Sean & Ann Keightley
Street Address 654 S. FALLING LEAVES DR.
Mailing Address WAXAHACHIE, TX 75167
Email sean_tex@att.net
Phones: _____
(Home) _____ (Cell) 214-263-2398 (Business) _____

PROJECT INFORMATION

Briefly describe the proposed project SINGLE FAMILY DWELLING.

Project Address LOT 21 CANYON CAVE CIR, CANYON SPRINGS EST, SPRINGDALE, UT
Tax Code _____
Number 541139 Zone FR

APPLICATION FEE

This application will not be considered complete until the appropriate filing fee has been paid.

- \$125 for projects reviewed by the DCD.
- \$500 for projects reviewed by the Planning Commission.
- \$150 for revisions to approved Design/Development Review.
- \$25 for fence permit

This Application must be accompanied by a completed Site Analysis before it can be found complete.

APPLICANT CERTIFICATION

I certify that the information contained in this application and in the attached Site Analysis is true and correct.

Printed Name: S. KEIGHTLEY

Signature:

Date: 4/2/2020



KEIGHTLY RESIDENCE

CANYON COVE, LOT 21

DRAWING INDEX					
SHEET NUMBER	SHEET TITLE				
G-1	COVER SHEET	A-1.1	LOWER LEVEL FLOOR PLAN	A-4.1	ELEVATIONS II
C-1	SITE PLAN	A-2	FOUNDATION PLAN	A-5	SECTION AND DETAILS
C-1.1	ZONING SECTIONS	A-3	ROOF OVERVIEW	E-1	MAIN LEVEL ELECTRICAL PLAN
A-1	MAIN LEVEL FLOOR PLAN	A-4	ELEVATIONS I	E-1.1	LOWER LEVEL ELECTRICAL PLAN

SITE PLAN

KEIGHTLY RESIDENCE
CANYON COVE, LOT 21
SPRINGDALE, UTAH

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2020

DATE: 6-1-20

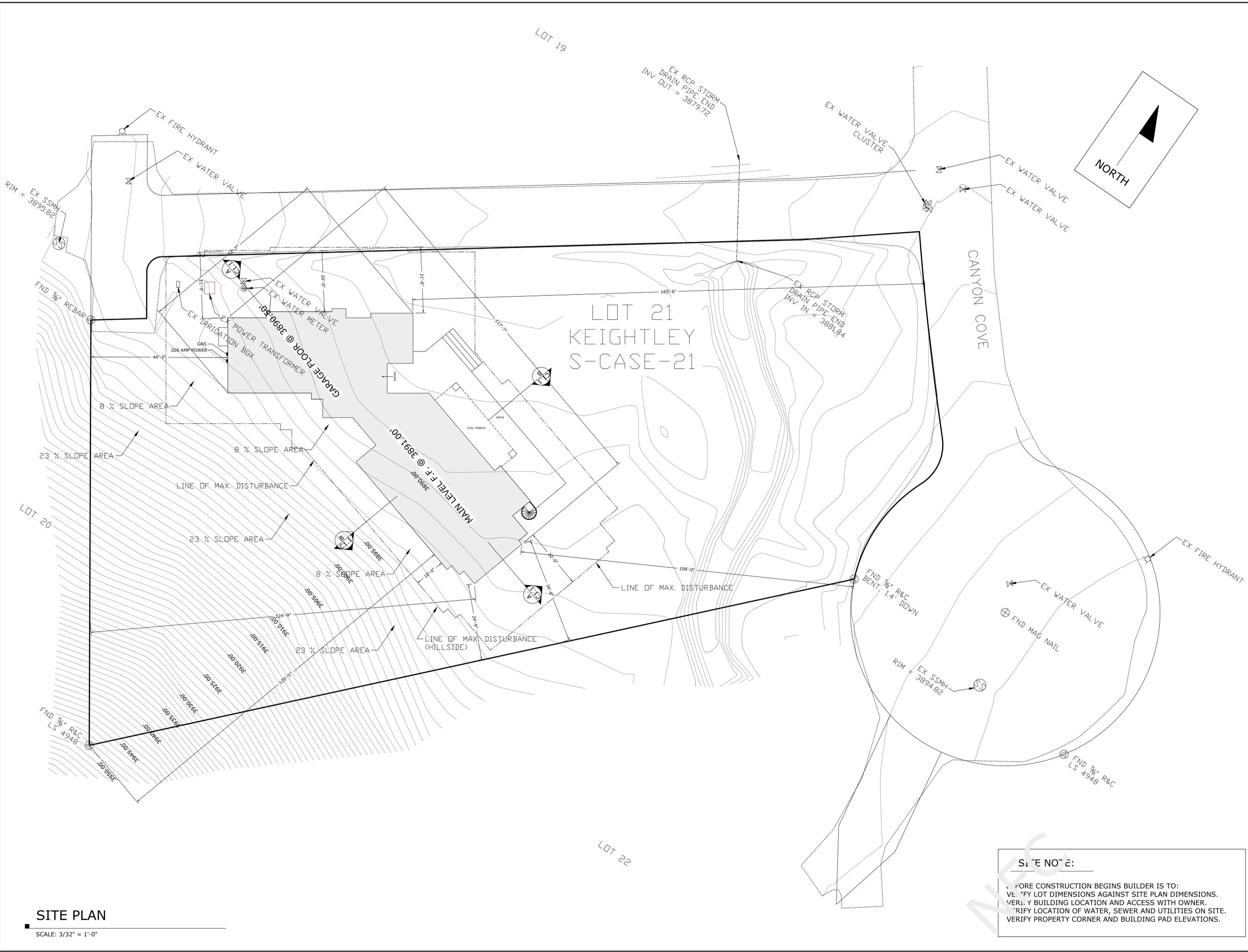
REVISED:
7-30-20

JOB #: CC-21

BY: C. HASLEM

C-1

SHEET SCALE: 3/32" = 1'-0"



SITE PLAN

SCALE: 3/32" = 1'-0"

SITE NOTE:
BEFORE CONSTRUCTION BEGINS BUILDER IS TO:
VERIFY LOT DIMENSIONS AGAINST SITE PLAN DIMENSIONS.
VERIFY BUILDING LOCATION AND ACCESS WITH OWNER.
VERIFY LOCATION OF WATER, SEWER AND UTILITIES ON SITE.
VERIFY PROPERTY CORNER AND BUILDING PAD ELEVATIONS.

ZONING SECTIONS

KEIGHTLY RESIDENCE
CANYON COVE, LOT 21
SPRINGDALE, UTAH

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2020

DATE: 6-1-20

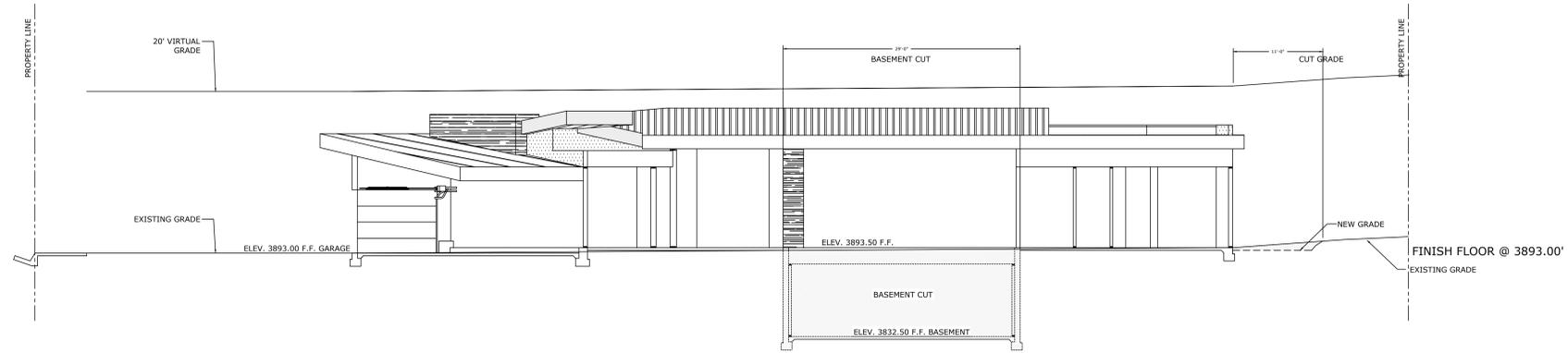
REVISED:
7-30-20

JOB #: CC-21

BY: C. HASLEM

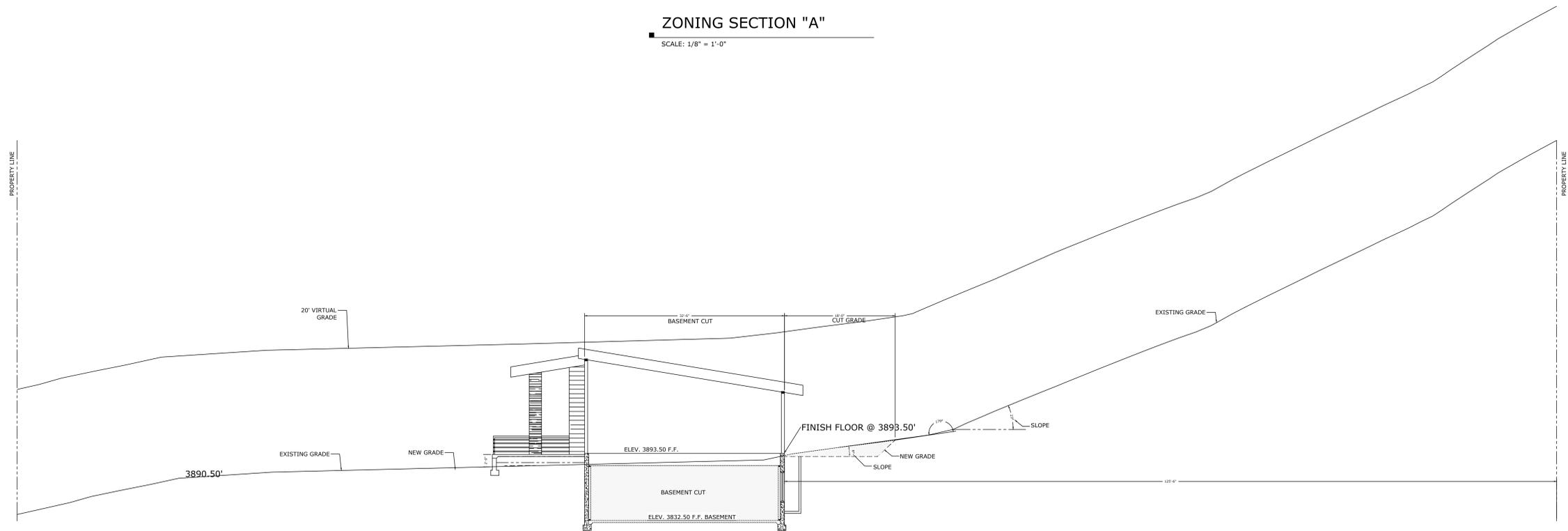
C-1.1

SHEET SCALE: 1/8" = 1'-0"



ZONING SECTION "A"

SCALE: 1/8" = 1'-0"



ZONING SECTION "B"

SCALE: 1/8" = 1'-0"

SITE SECTIONS

SCALE: 1/8" = 1'-0"



CUSTOM HOME PLANS
1240 E. 100 S. #7
ST. GEORGE, UT 84790
435-656-8777

**CORTNEY
HASLEM
DESIGNS**

VIEW CORRIDOR
STUDY

KEIGHTLY RESIDENCE
CANYON COVE, LOT 21
SPRINGDALE, UTAH

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2020

DATE: 6-1-20

REVISED:
7-30-20

JOB #: CC-21

BY: C. HASLEM

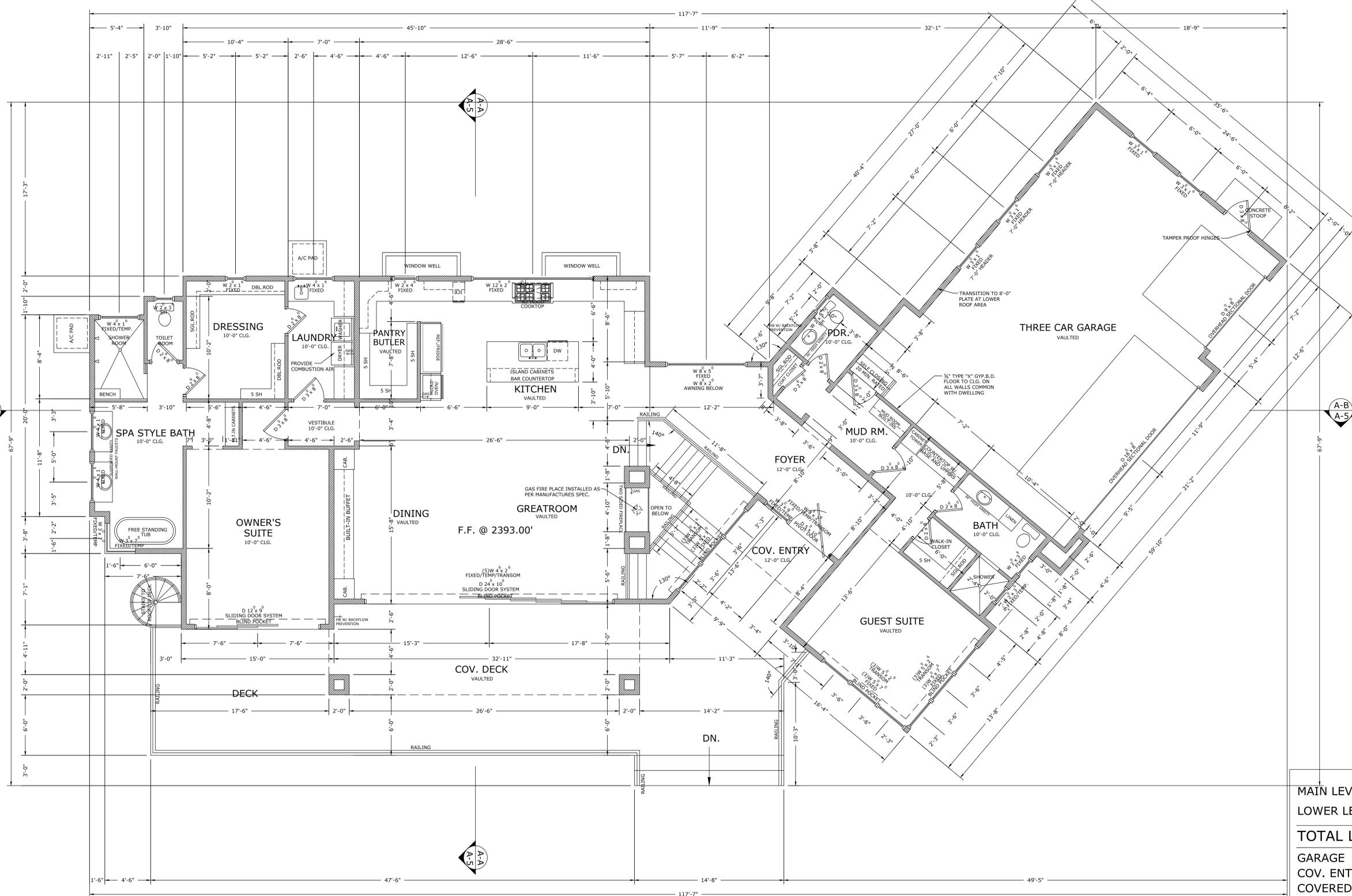
C-1.2
SHEET SCALE: 1/16" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FACE OF FRAMING MATERIAL. ON FACE OF THE SHEATHING EXTERIOR WALLS = 2x6 INTERIOR WALLS = 2x4 PLUMBING WALLS = AS NOTED
- UNLESS NOTED OTHERWISE . . .
- ALL WOOD IN CONTACT WITH CONCRETE IS TO BE PRESERVATIVE TREATED.
- ALL WINDOW FRAMES AND EXTERIOR BASE PLATES ARE TO BE SET IN A SOLID BED OF POLYMER FOAM SEALANT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 I.R.C. AND APPLICABLE LOCAL ORDINANCES.
- VERIFY LOCATIONS OF ALL UTILITY LINES BEFORE PROCEEDING WITH ANY WORK THAT MAY AFFECT THEM.
- ALL NEW CONCRETE WALKS HAVE A MINIMUM OF 2% CROSS SLOPE TO DRAIN AWAY FROM BUILDING.
- PROVIDE A 4" MINIMUM LAYER OF GRANULAR 3/4" DIA. FILL UNDER WALKS & CURBS, UNLESS SHOWN OTHERWISE.
- PROVIDE SOLID BLOCKING AT SIDES OF GLAZING FOR WINDOW TREATMENT ANCHORS.
- FIREPLACE TYPE & SIZE TO BE ICBO APPROVED AND OWNER/BUILDER VERIFIED.
- FLOOR COVERINGS, BASE AND TRIM, MOLDINGS, AND CABINETS TO BE DETERMINED BY OWNER.
- FLOOR DRAINS TO BE INSTALLED AS REQUIRED.
- HOSE BIBBS LOCATIONS TO BE VERIFIED BY OWNER, HOSE BIBBS SHOULD HAVE BACKFLOW PROTECTORS.
- WINDOW AND DOOR HEADERS TO BE (2) 2x10'S UNLESS NOTED OTHERWISE. SEE ENGINEERS SPECS.
- ALL PLUMBING TO BE IN ACCORDANCE WITH CURRENT IPC AND LOCAL CODES.
- ATTIC ACCESS TO BE A MINIMUM OF 22" x 30" W/ 30" OF HEAD ROOM ABOVE ACCESS. 1 HR. FIRE-RESISTANT CONSTRUCTION & LATCH REQUIRED IN GARAGE ACCESSES AS PER CURRENT I.R.C.
- SEISMIC TIE-DOWNS TO BE PROVIDED AT ALL WATER HEATERS AS PER CURRENT I.M.C.
- PROVIDE A MINIMUM CLEARANCE OF 30" IN FRONT OF ALL WATER HEATERS.
- PROVIDE A MINIMUM CLEARANCE OF 36" IN FRONT OF FURNACE FOR SERVICING.
- ALL PLUMBING VENTS THROUGH ROOF TO BE 2" PIPE MINIMUM. ALL PENETRATIONS THROUGH ROOF SHALL BE 5'-0" MIN. FROM ANY PARTY WALLS AND SHALL BE 2'-0" ABOVE OR 10'-0" AWAY FROM ALL EXTERIOR AIR INTAKE OPENINGS.
- FLUE AND EXHAUST VENTS WILL TERMINATE 4'-0" ABOVE DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET.
- GAS METER AND MAIN SHUTOFF TO BE LOCATED AS PER CURRENT I.M.C.
- LICENCED CONTRACTOR TO VERIFY ALL DIMENSIONS AND SPECIFICATIONS ON SITE.
- A BACK WATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST UPSTREAM MAN HOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION LEVEL OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
- SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE FOR A MIN. OF 72" ABV. THE FLOOR. (I.R.C. R307.2)
- FASTENERS INSTALLED INTO PRESERVATIVE TREATED WOOD ARE TO BE ZINC COATED OR TREATED AS REQUIRED BY IRC R317.3.
- ALL GRADING AROUND THE HOME WILL SLOPE AT LEAST 5% AWAY FROM THE HOME FOR PROPER DRAINAGE AS REQUIRED BY IRC R401.3
- BACKFILL IS NOT TO BE PLACED ADJACENT TO BASEMENT WALLS UNTIL BRACING IS IN PLACE AS REQUIRED BY IRC R404.1.2
- PROVIDE REQUIRED PERIMETER DRAINS FOR THE FOUNDATION WALLS PER IRC R405.1.
- PROVIDE DAMP PROOFING AT THE BELOW GRADE FOUNDATION WALLS PER IRC R406.1.
- MAXIMUM FLOW RATES FOR SHOWER HEADS (2.5 gpm @ 80 PSI), LAVATORY (2.2 gpm @ 60 PSI), SINK FAUCETS (2.2 gpm @ 60 PSI), WATER CLOSETS (1.6 GAL PER FLUSH). FLOW RATES SHOULD MEET REQUIREMENTS OF IRC P2903.2.
- ALL U-FACTORS SHALL BE DETERMINED BY TESTING IN ACCORDANCE WITH NFRC 100 AND LABELED AS SUCH BY THE MANUF., PER SECTION 102.1.3 OF THE 2006 IECC U-FACTOR - CLIMATE ZONE 3 = 0.35. (NO UTAH) U-FACTOR - CLIMATE ZONE 3 = 0.65. (SO. UTAH)
- EXHAUST RATE FOR RANGE HOOD IS NOT TO EXCEED 400 CFM

FIRE PLACE NOTES:

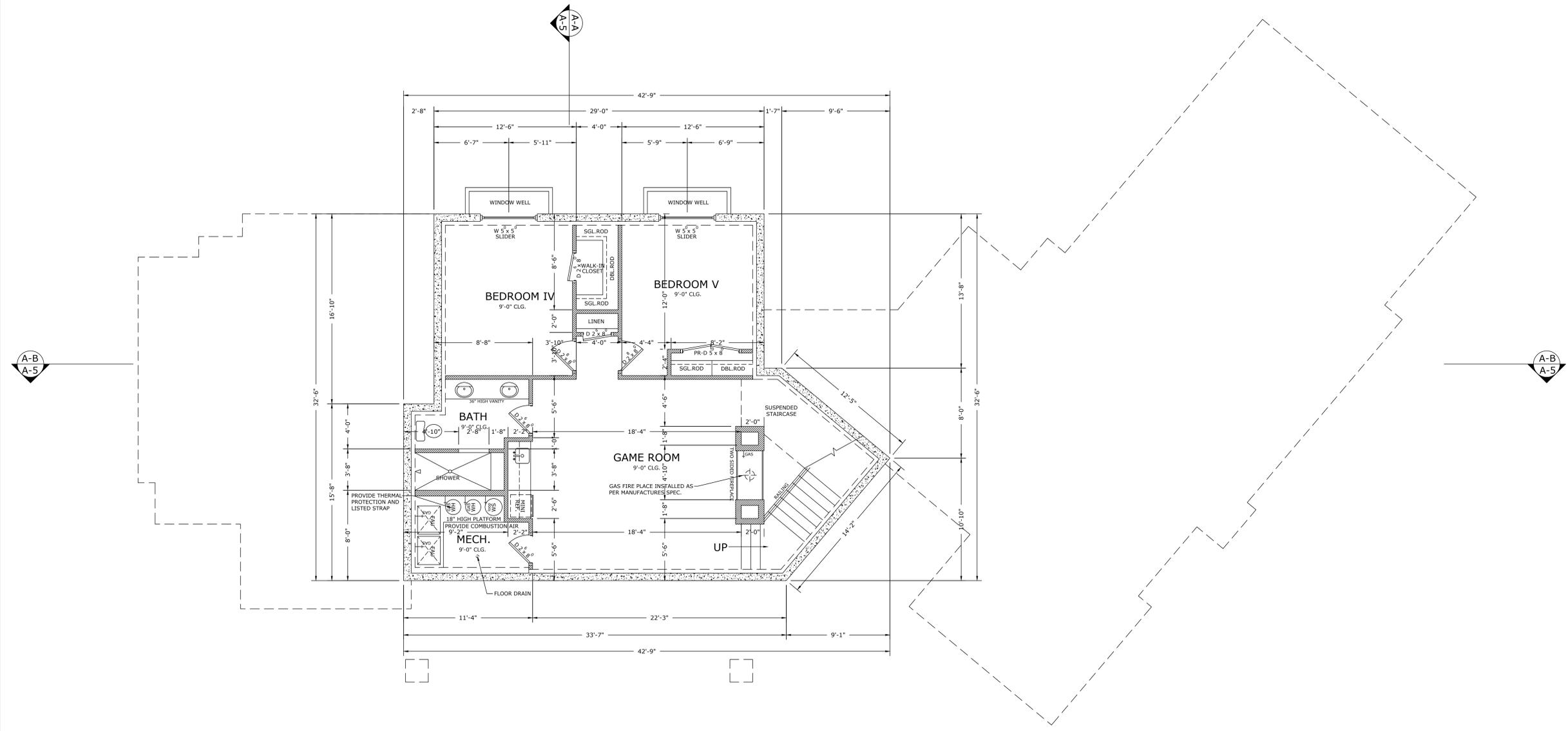
IF FIREPLACES ARE INSTALLED, ENSURE THAT VENTILATION AIR IS PROVIDED DIRECTLY TO THE FIREPLACE AND CONDUCT COMBUSTION SAFETY TESTS TO ENSURE THE FIREPLACE WILL NOT BE BACKDRAFTED BY OTHER EXHAUST FANS IN THE HOME.
PROVIDE INSTALLATION OF A SCOPE FROM THE FIRE BOX TO THE EXTERIOR OF THE HOME, EITHER THROUGH DIRECT VENT (WALL) OR VERTICALLY THROUGH THE ROOF.
* ALWAYS INSTALL AS PER MANUFACTURERS SPECS
* BUILDER TO VERIFY INSTALLATION INSTRUCTIONS



MAIN LEVEL LIVING	2,606
LOWER LEVEL LIVING	1,105
TOTAL LIVING AREA	3,711
GARAGE	940
COV. ENTRY	49
COVERED DECK	272
TOTAL COV. AREA	4,972
ROOF DECK	446
MECHANICAL	78
UNCOVERED DECK	667
TOTAL FLOOR AREA	6,163

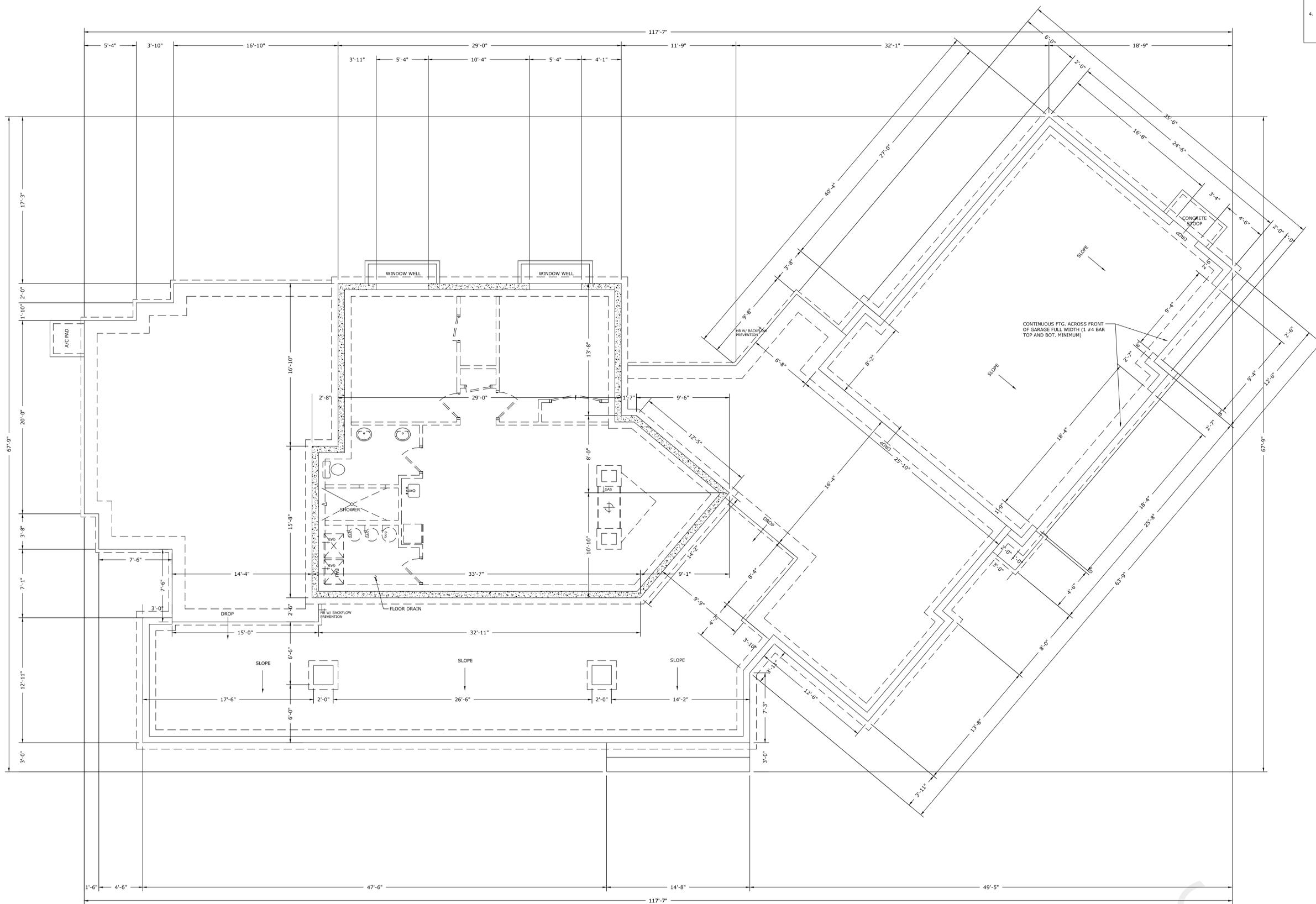
MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



- FOUNDATION NOTES:**
1. BUILDER TO VERIFY THAT ALL FOOTINGS/FOUNDATIONS TO COMPLY W/ SOILS REPORT AND FOUNDATION ENGINEERING REQUIREMENTS.
 2. CONTRACTOR TO COORDINATE SETBACK/FOUNDATION CLEARANCES WITH DEVELOPER AND VERIFY EXACT BUILDING LOCATION PRIOR TO PLACING CONCRETE.
 3. ALL FOOTINGS/FOUNDATIONS TO COMPLY W/ SOILS REPORT AND FOUNDATION ENGINEERING REQUIREMENTS.
 4. CONTRACTOR TO COORDINATE SETBACK/FOUNDATION CLEARANCES WITH DEVELOPER AND VERIFY EXACT BUILDING LOCATION PRIOR TO PLACING CONCRETE.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CORTNEY HASLEM DESIGNS
 CUSTOM HOME PLANS
 1240 E. 100 S. #7
 ST. GEORGE, UT 84790
 435-656-8777

FOUNDATION PLAN

KEIGHTLY RESIDENCE
 CANYON COVE, LOT 21
 SPRINGDALE, UTAH

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 2020

DATE: 6-1-20

REVISED:
 7-30-20

JOB #: CC-21

BY: C. HASLEM

A-2
 SHEET SCALE: 1/4" = 1'-0"

- ROOF NOTES:**
1. ROOF VENTILATION AND ACCESS TO COMPLY WITH CURRENT I.R.C.
 2. BRACING IS TO COMPLY WITH I.R.C.
 3. ALL GYPSUM BD. APPLICATIONS TO COMPLY WITH I.R.C.
 4. ENCLOSED ATTIC AND RAFTER VENTILATION SHALL COMPLY WITH CURRENT I.R.C. UNLESS NOTED OTHERWISE. (1/150 OF SPACE FOR GABLE TYPE VENTS) (1/300 OF SPACE VENTILATED FOR GABLE-EAVE VENT COMBINATIONS)
 5. HEIGHT OF CHIMNEYS TO BE 2'-0" MINIMUM ABOVE 10'-0" AWAY FROM ANY PORTION OF THE BUILDING OR ROOF -
 6. ALL UNDERLAYMENTS SHALL BE RATED FOR THE TEMPERATURE RANGE OF THE LOCAL ENVIRONMENT.
 7. BUILDER AND/OR TRUSS MANUFACTURER IS TO VERIFY TRUSS LAYOUT.

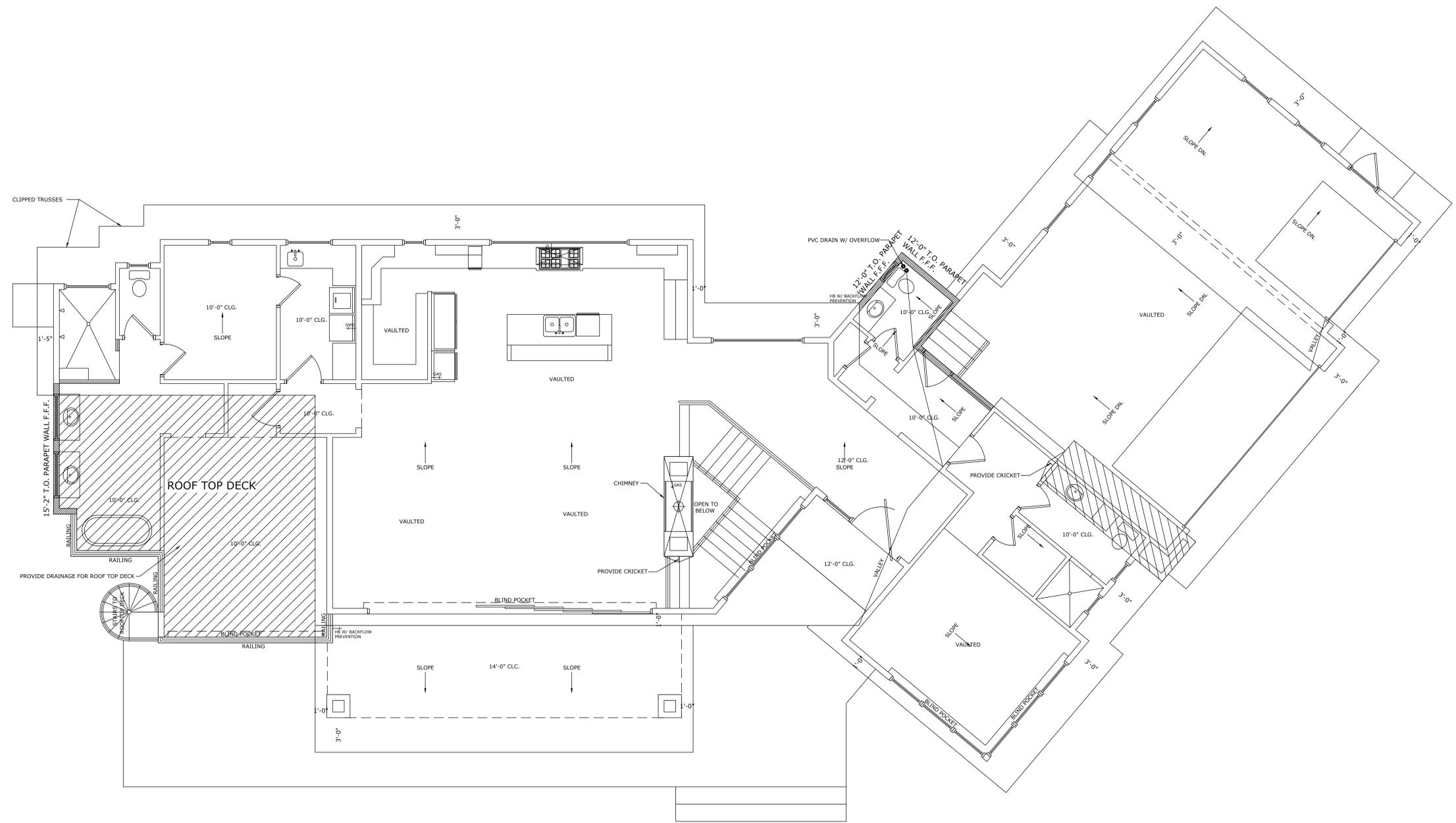
ATTIC VENTILATION

3741 / 150 = 24.94 (26 TOTAL VENTS)

INSTALL VENTS AS FOLLOWS:

- 13 EXHAUST VENTS NEAR RIDGE OF ROOF
- 13 INTAKE VENTS ON SOFFITS/UNDER EAVE

LOCATION AND SUPPLIER OF ATTIC VENTILATION TO BE VERIFIED BY THE ROOFING COMPANY



ROOF OVERVIEW

SCALE: 1/4" = 1'-0"

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 2020

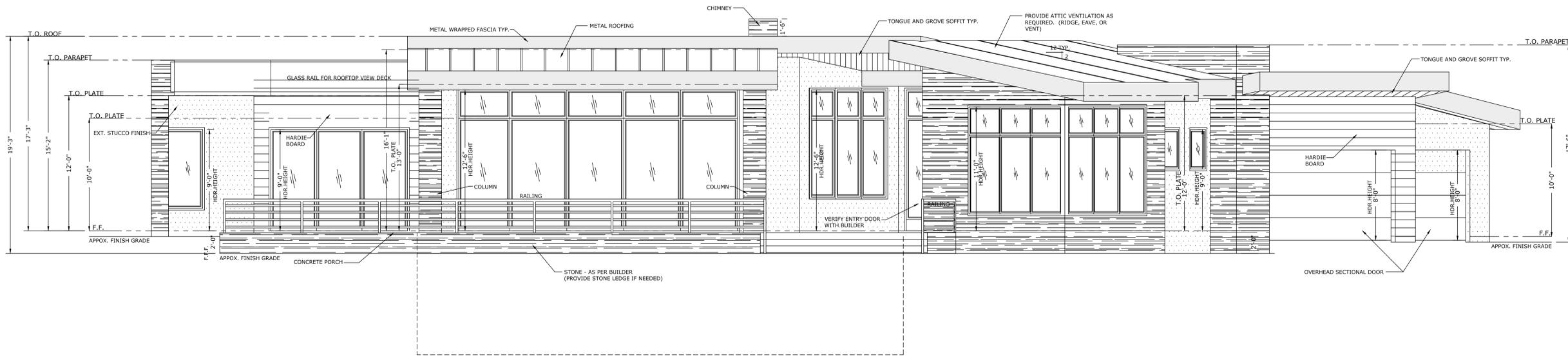
DATE: 6-1-20

REVISED:
 7-30-20

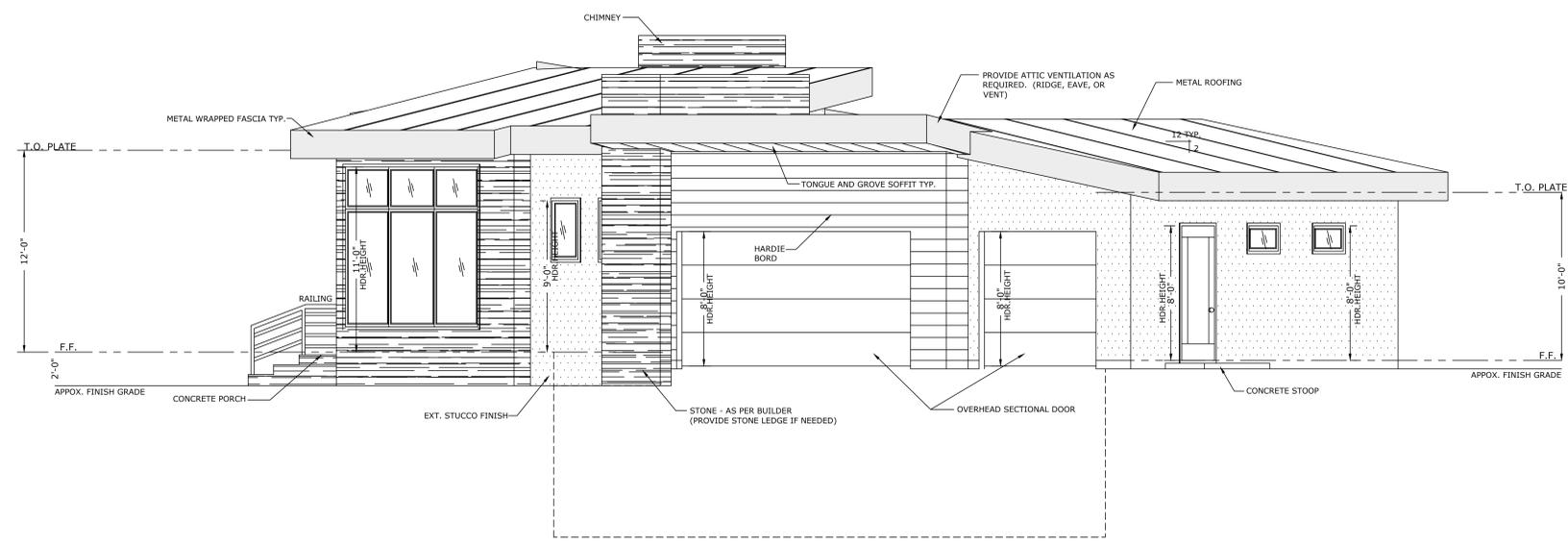
JOB #: CC-21

BY: C. HASLEM

NFC



FRONT ELEVATION

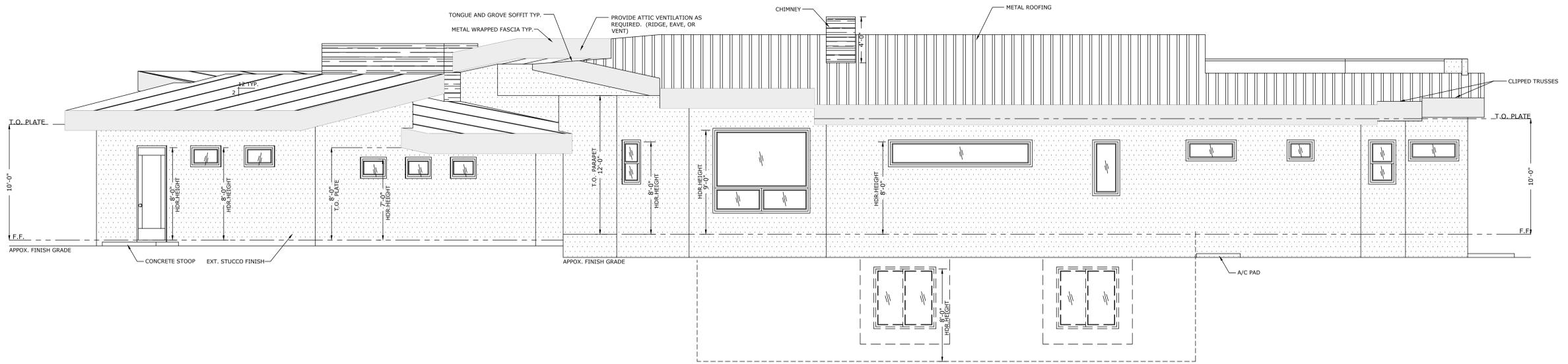


RIGHT SIDE ELEVATION

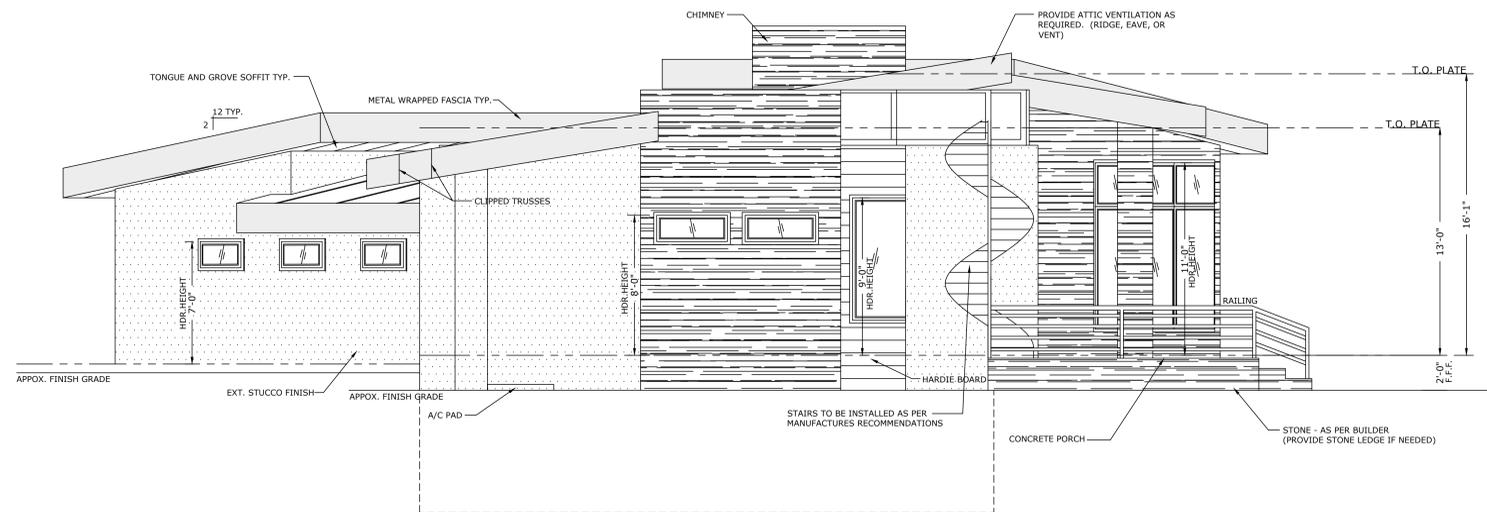
ELEVATIONS I

SCALE: 1/4" = 1'-0"

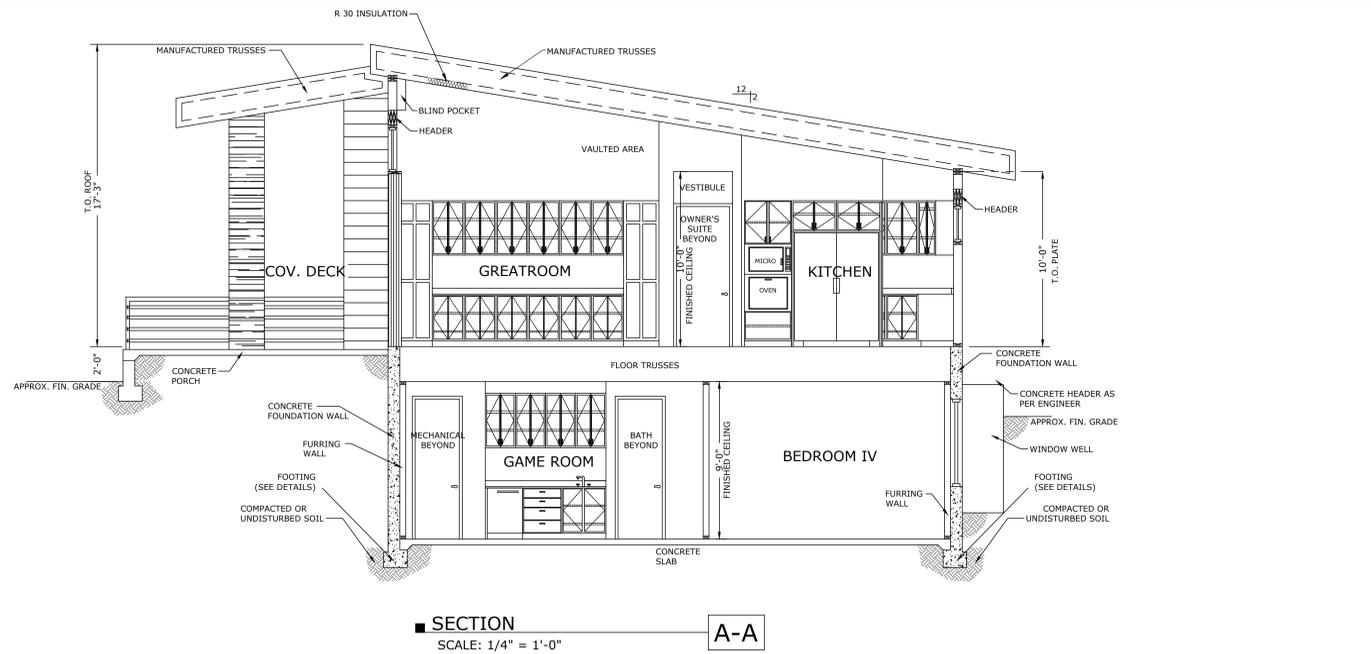
NFC



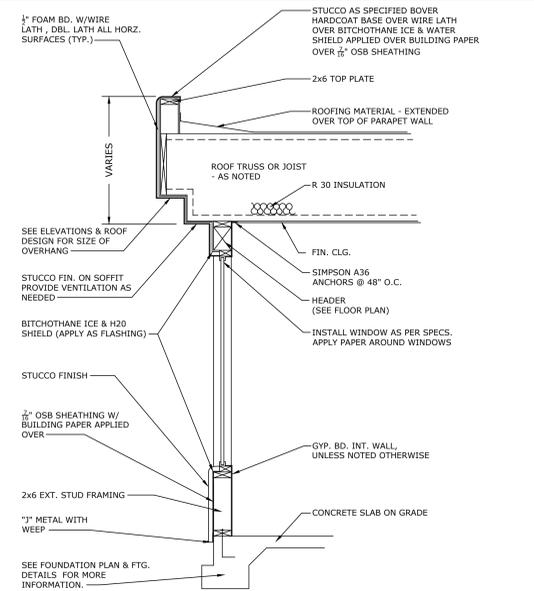
REAR ELEVATION



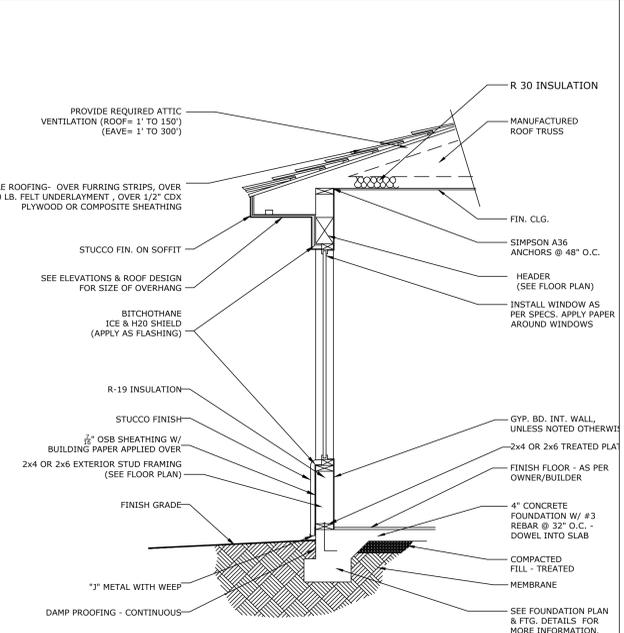
LEFT SIDE ELEVATION



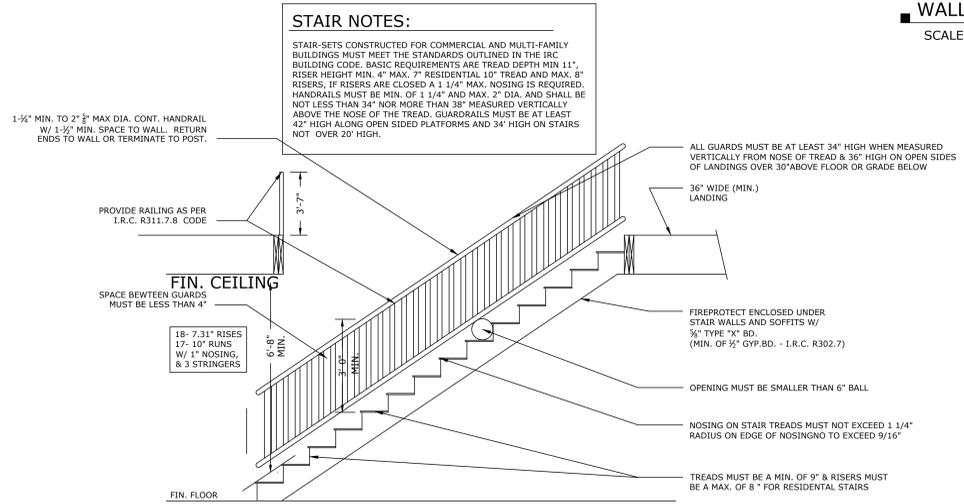
SECTION A-A
SCALE: 1/4" = 1'-0"



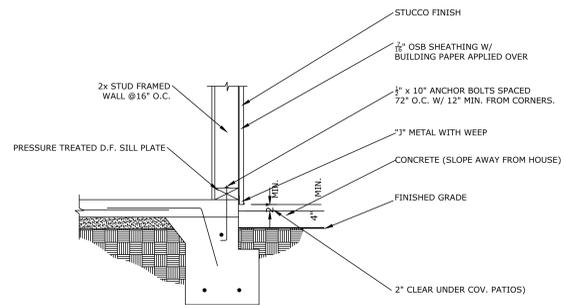
WALL SECTION 1
SCALE: NO SCALE



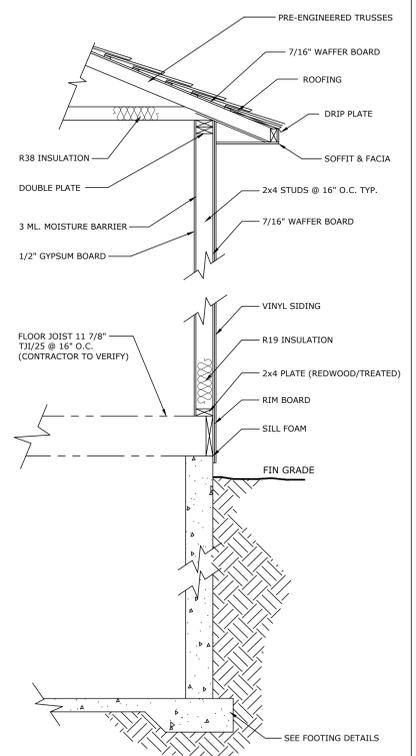
WALL SECTION 2
SCALE: NO SCALE



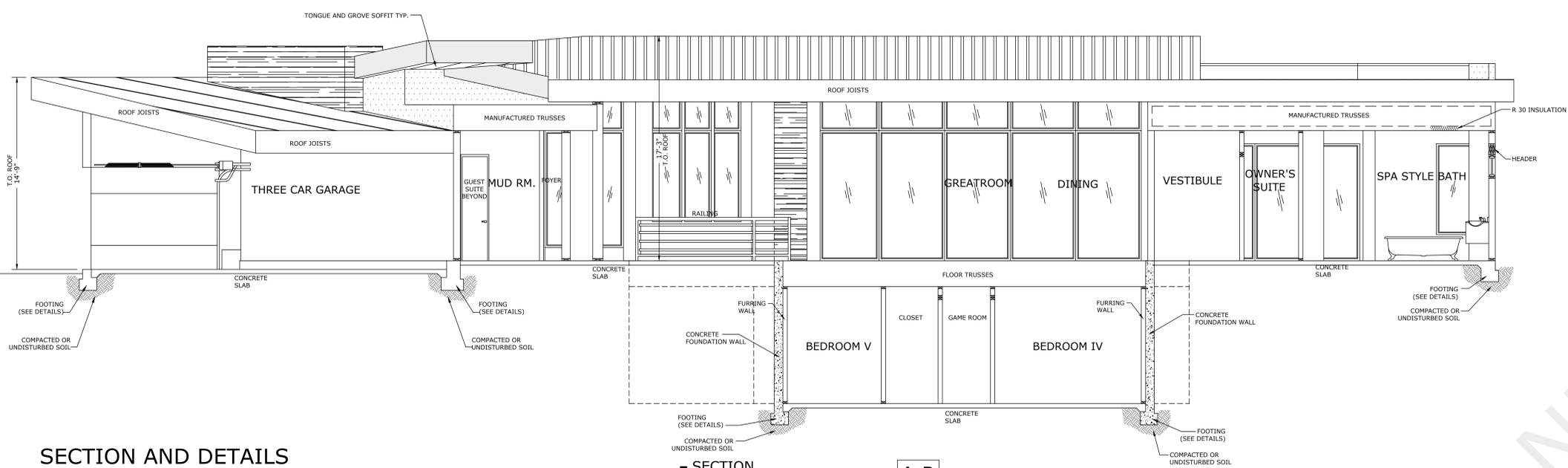
TYPICAL STAIR DETAIL
SCALE: NO SCALE



EXTERIOR FOOTING W/ CONCRETE PATIO
SCALE: NO SCALE



WALL SECTION - BASEMENT
SCALE: NO SCALE



SECTION A-B
SCALE: 1/4" = 1'-0"

STAIR NOTES:
STAIR-SETS CONSTRUCTED FOR COMMERCIAL AND MULTI-FAMILY BUILDINGS MUST MEET THE STANDARDS OUTLINED IN THE IRC. BUILDING CODE. BASIC REQUIREMENTS ARE TREAD DEPTH MIN 11", RISER HEIGHT MIN. 4" MAX. 7" RESIDENTIAL 10" TREAD AND MAX. 8" RISERS, IF RISERS ARE CLOSED A 1 1/4" MAX. NOSING IS REQUIRED. HANDRAILS MUST BE MIN. OF 1 1/4" AND MAX. 2" DIA. AND SHALL BE NOT LESS THAN 34" NOR MORE THAN 38" MEASURED VERTICALLY ABOVE THE NOSE OF THE TREAD. GUARDRAILS MUST BE AT LEAST 42" HIGH ALONG OPEN SIDED PLATFORMS AND 34" HIGH ON STAIRS NOT OVER 20' HIGH.

1-3/4" MIN. TO 2 3/8" MAX DIA. CONT. HANDRAIL W/ 1 1/2" MIN. SPACE TO WALL. RETURN ENDS TO WALL OR TERMINATE TO POST.

ALL GUARDS MUST BE AT LEAST 34" HIGH WHEN MEASURED VERTICALLY FROM NOSE OF TREAD & 36" HIGH ON OPEN SIDES OF LANDINGS OVER 30" ABOVE FLOOR OR GRADE BELOW

36" WIDE (MIN.) LANDING

PROVIDE RAILING AS PER I.R.C. R311.7.8 CODE

FIN. CEILING

SPACE BETWEEN GUARDS MUST BE LESS THAN 4"

18- 7.31" RISES
12- 10" RUNS
W/ 1" NOSING,
& 3 STRINGERS

6'-8" MIN.

3'-7"

FIREPROTECT ENCLOSED UNDER STAIR WALLS AND SOFFITS W/ 3/4" TYPE "X" BD. (MIN. GF 3/2" GYP.BD. - I.R.C. R302.7)

OPENING MUST BE SMALLER THAN 6" BALL

NOSING ON STAIR TREADS MUST NOT EXCEED 1 1/4" RADIUS ON EDGE OF NOSING NO TO EXCEED 9/16"

TREADS MUST BE A MIN. OF 9" & RISERS MUST BE A MAX. OF 8" FOR RESIDENTIAL STAIRS

SECTION AND DETAILS
SCALE: AS NOTED

CORTNEY HASLEM DESIGNS
CUSTOM HOME PLANS
1240 E. 100 S. #7
ST. GEORGE, UT 84790
435-656-8777

SECTIONS AND DETAILS

KEIGHTLY RESIDENCE
CANYON COVE, LOT 21
SPRINGDALE, UTAH

COPYRIGHT ©
CORTNEY HASLEM DESIGNS
2020

DATE: 6-1-20

REVISED:
7-30-20

JOB #: CC-21

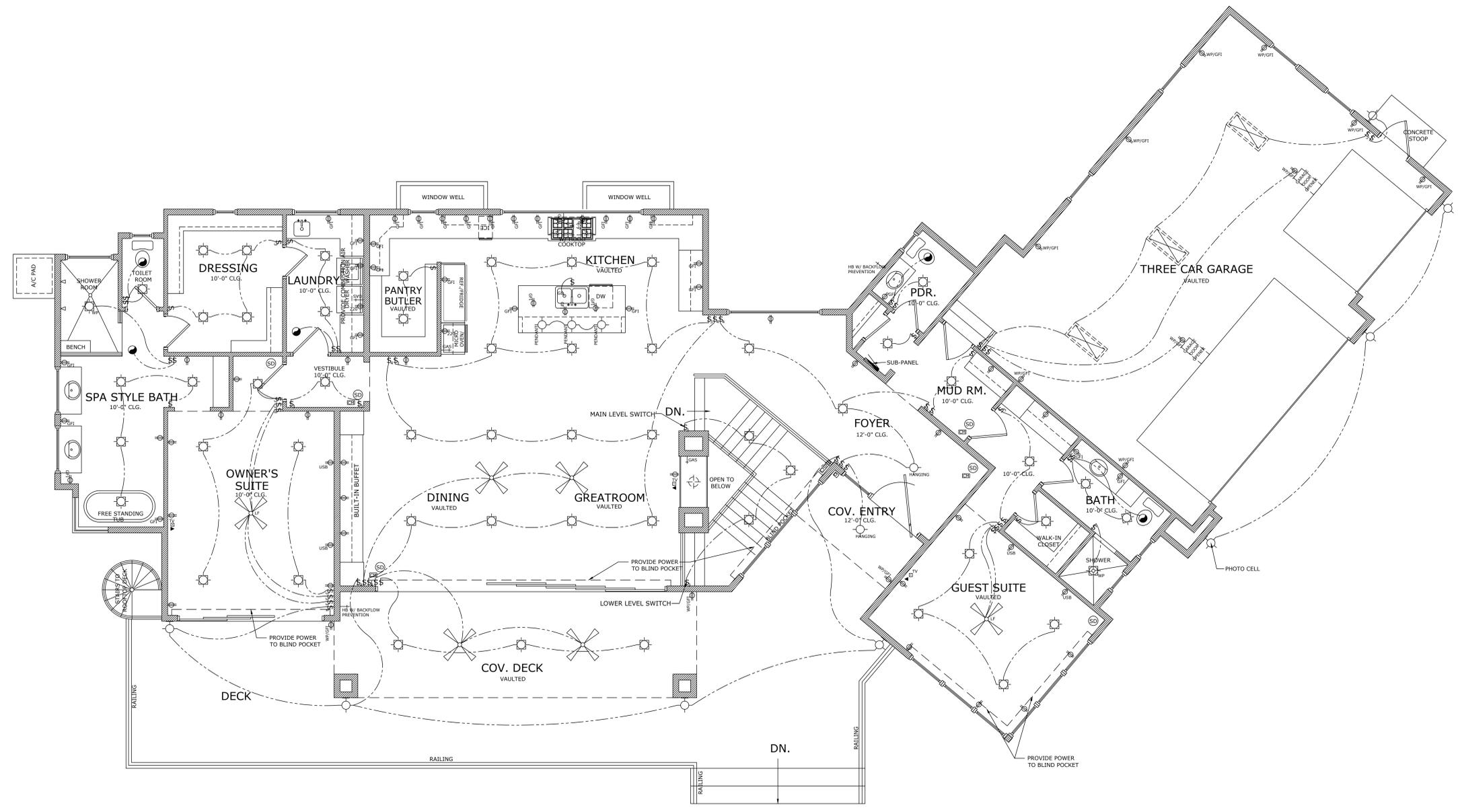
BY: C. HASLEM

A-5
SHEET SCALE: AS NOTED

ELECTRICAL LEGEND

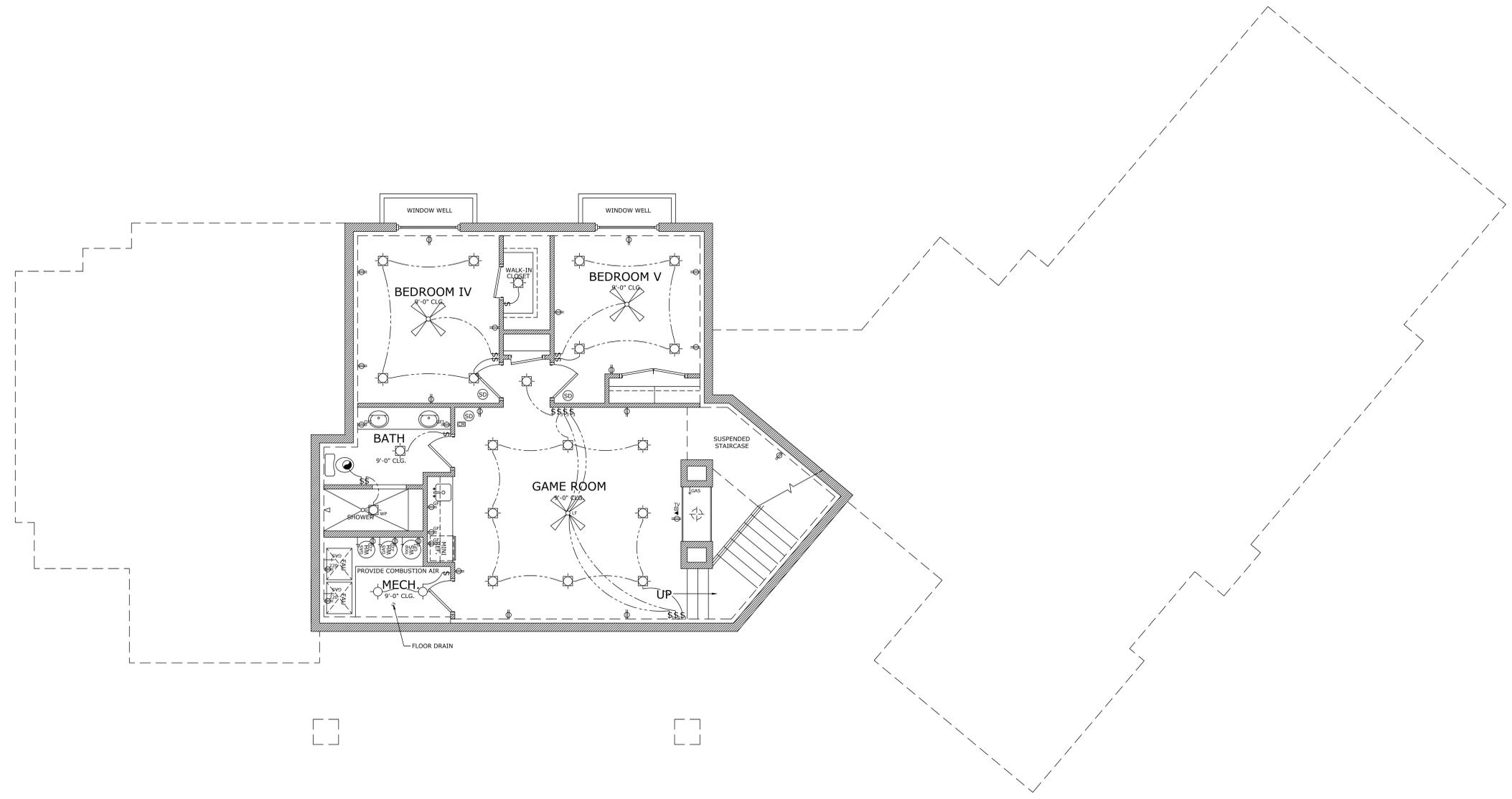
	CEILING MOUNTED LIGHT
	WALL MOUNTED LIGHT
	RECESSED LIGHT
	SCONCE LIGHT
	CEILING FAN
	FLOURESCENT LIGHT BOX
	SMOKE DETECTOR
	OUTLET
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	CABLE TELEVISION OUTLET
	TELEPHONE JACK
	LIGHT / FAN
	GROUND-FAULT INTERRUPTER
	WEATHER-PROOF
	HOSE BIBB
	PANEL BOX
	CHIME BOX
	DOOR BELL
	EXHAUST FAN
	CARBON MONOXIDE

- ELECTRICAL NOTES:**
1. OUTLET PLACEMENT SHALL COMPLY WITH CURRENT CODE.
 2. MINIMUM FIXTURE CLEARANCE TO SHELVING IS 1'-2".
 3. SMOKE DETECTORS TO COMPLY WITH CURRENT CODE.
 4. GFI OUTLETS REQUIRED WITHIN 6'-0" OF SINKS, AT GARAGES, BATHROOMS, OUTSIDE AND UNFINISHED AREAS.
 5. OUTLETS TO BE 1'-4" ABOVE FINISHED FLOOR IN GARAGE.
 6. UTILITY METERS, PANEL BOX, AND UFER GROUND TO BE LOCATED BY ELECTRICIAN.
 7. ALLOW "6-PAIR DROP" FOR TELEPHONE SERVICE.
 8. ALLOW FOR ARC FAULT IN ALL BEDROOMS.
 9. ALL OUTLETS TO BE TAMPER PROOF.
 10. PROVIDE AFCI PROTECTION PER E3902.16 (BEDROOMS, KITCHENS, AND LAUNDRY AREAS)



ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

NFC



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NFC

From: [Robert & Derek Bulloch](#)
To: dcd@infowest.com
Subject: Keightley exteriors
Date: Friday, August 7, 2020 8:37:12 AM

Tom,

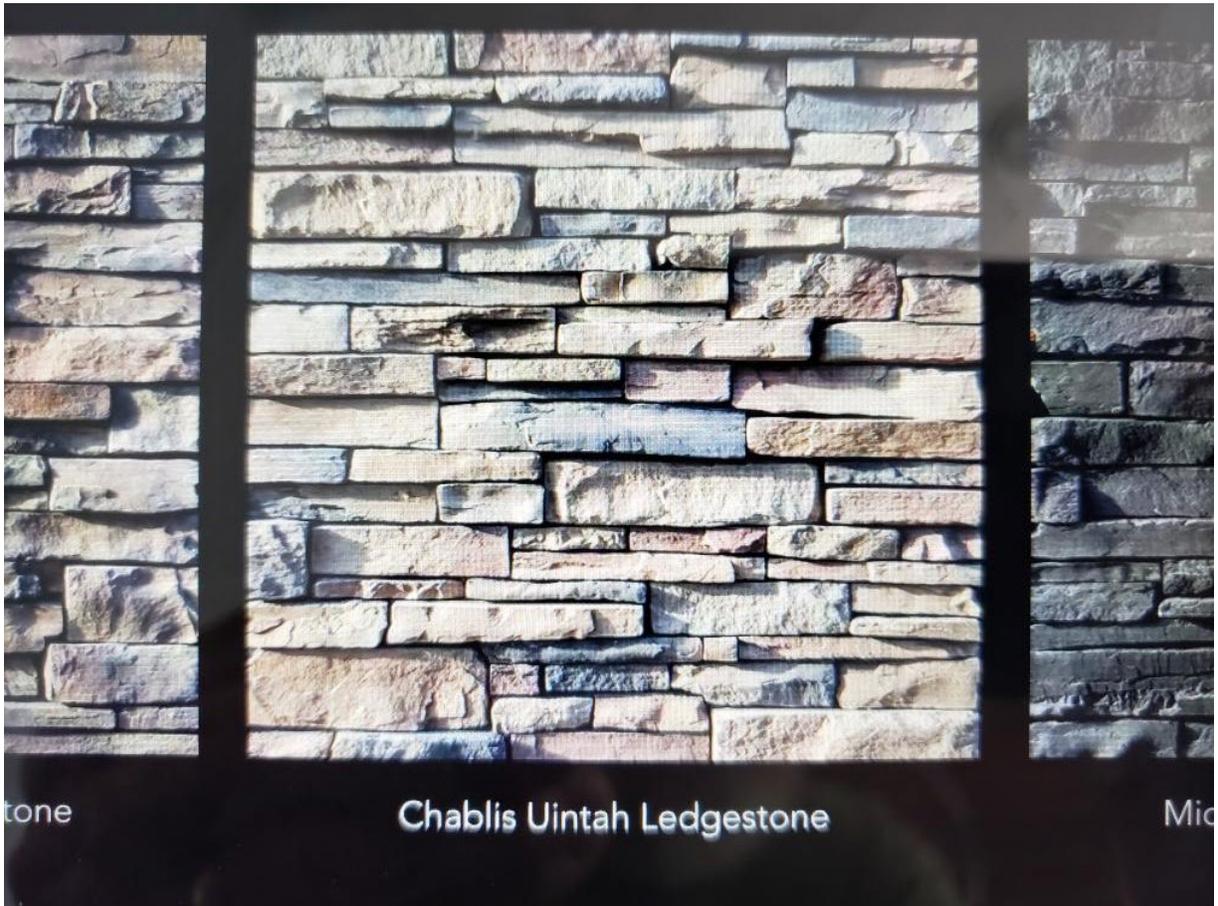
Here are the exterior items you are requesting. The pictures are of the stone, stucco and exterior lighting.

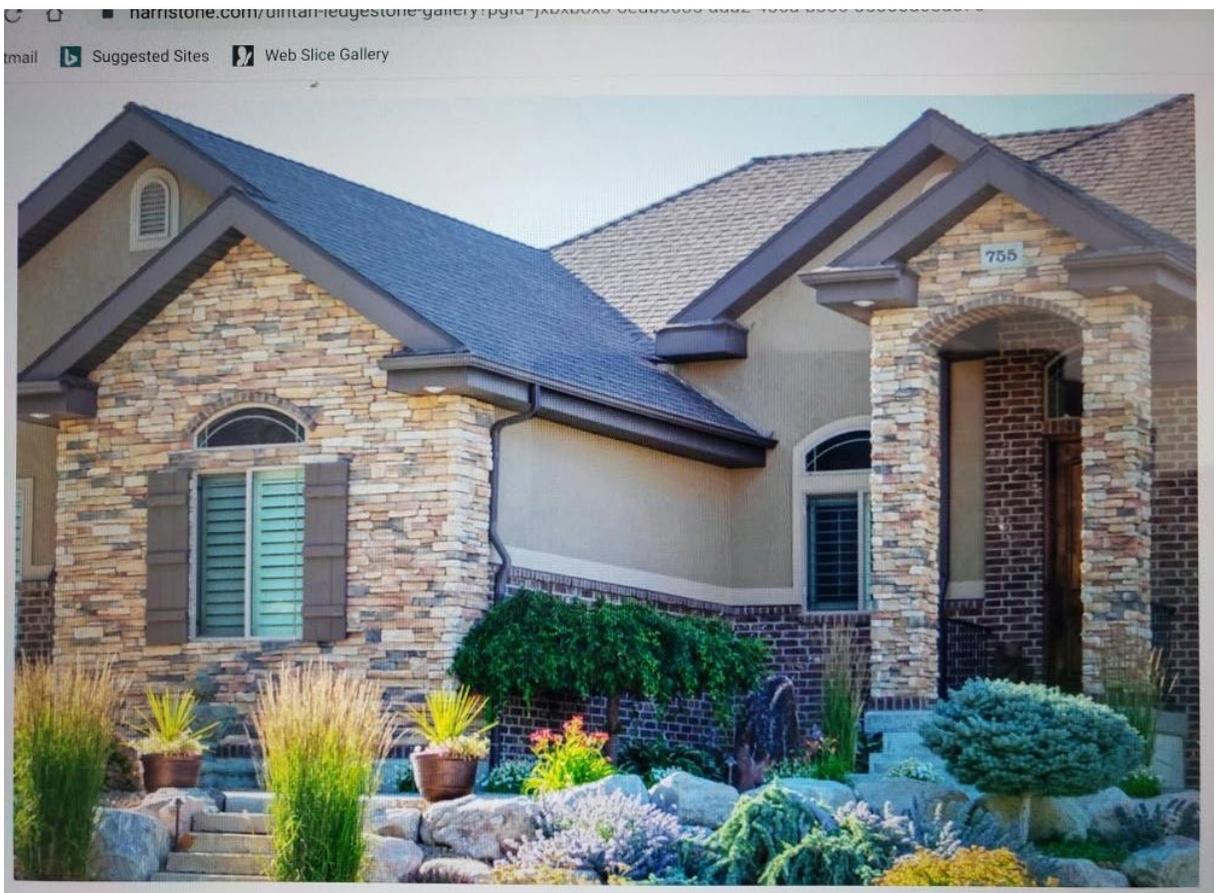
The roof will be metal and a gray color.

The horizontal siding will be a composite type material in a cedar color. The colors will blend with the outdoors and the neighbors.

Let me know if you have any questions

Thank you,
Derek





1001 968 961

HOME
DECORATORS
COLLECTION

LED
TECHNOLOGY

**Save Energy.
Save Money!**
Ahorra energía.
¡Ahorra dinero!

**Medium
Exterior
Wall
Lantern**
Riga Collection

8 in h
(20,32 cm)

4.3in w
(10,92cm)

LED

Home Decorators Collection

lighting facts®

A Program of the U.S. DOE

Light Output (Lumens)	608
Watts	11
Lumens per Watt (Efficacy)	55.27

Color Accuracy	80
Color Rendering Index (CRI)	

Light Color
Correlated Color Temperature (CCT)

3000 (Bright White)

Warm White Bright White Daylight

2700K 3000K 4500K 6500K

All results are according to IESNA LM-79-2008: *Approved Method for the Electrical and Photometric Testing of Solid-State Lighting*. The U.S. Department of Energy (DOE) verifies product test data and results.

Visit www.lightingfacts.com for the *Label Reference Guide*.

Registration Number: ZD73-PNJRK1 (5/26/2016)
Model Number: 201745A
Type: Luminaire - Wallwash

SCAN ME



9 008606 148615

Teach InfoWest Spam Trap if this mail is spam:

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REMEMBER: Never give out your account information, password, or other personal information over e-mail.

From: [Susan Hoover](#)
To: [Tom C. Dansie](#); [Darci Carlson](#); jburns@springdaletown.com; mmarriott@springdaletown.com; rrioux@springdaletown.com; bbruno@springdaletown.com; tyoung@springdaletown.com; scarnahan@springdaletown.com; dmccomb@springdaletown.com; treacy_stone@nps.gov
Subject: Comments on 8/19/2020 Planning Commission Meeting Residential DDR for Canyon Springs Lot 21 – Keightley
Date: Monday, August 17, 2020 5:39:11 PM

As a homeowner in Canyon Springs Estates and a member of the Architectural Control Committee for our HOA, I would like to provide several points for the Planning Commission to consider before approving the plans for Canyon Springs Lot 21 – Keightley Residence.

I would like to apprise the commission that the image with the line drawing of the Keightley Residence overlaid on it entitled View Corridor Study (Page 11 in the Town's package, and labeled C-1.2 on architectural drawings) is misleading because the sketch of the home location is completely out of place on the image. In order to properly register the line drawing with the underlying image, the left-most edge of the line drawing should shift up on the page to align the curve and asphalt "parking spot" at the upper left corner of the image. With this registration error, the location indicated on that image labeled "View Corridor" is out of place.

Although the staff report indicates that there was "a site visit and pole test conducted earlier this year", there are no pictures in the report taken from the adjacent lots (S-CASE-19 and S-CASE-22) that show the pole placement of the home corners which might be considered "view obstructing". I suppose this might be considered a technicality, as the designed height of the home is below the 20-foot maximum limit in the Foothill Residential zone, but it would be nice for the commission to have some pictures of the potential for view obstruction included in the package for completeness.

The "Lighting" section of the staff report (Page 2) notes that the lighting is "In Compliance" with the addition of specific conditions placed on the can lighting. However, the light fixture specified in the package on Pages 22 and 23 (Home Decorator's Collection Riga SKU# 1001 968 961, sold at Home Depot) is BOTH an UP & DOWN light fixture, requiring 2 lights. This is clearly NOT in compliance with the Requirement for exterior lighting to be "down-directed". Here is a link to the product on the Home Depot website: <https://www.homedepot.com/p/Home-Decorators-Collection-Riga-2-Light-Stainless-Steel-Outdoor-Integrated-Wall-Lantern-Sconce-Cylinder-201745A/207014916>, that includes the description: "Directs lights up and down to illuminate house numbers". This fixture clearly does not comply with the Town of Springdale lighting requirements and should not be approved.

The package includes electrical plans (Pages 19 and 20, labeled E-1 and E-1.1) for the Main Level and Lower Level. However, there is no indication of any electrical fixtures (outlets or lights) on the Roof Top Deck. I would like to see the commission get confirmation of the lack of electrical fixtures on the Roof Top Deck, and include that there shall be NO light fixtures installed on Roof

Top Deck as a condition of approval.

Also pertaining to lighting: Page 19 of the package, E-1 Main Level Electrical indicates a photo cell will be mounted for the 3 exterior light fixture on the garage. This implies that these lights will be on from dusk to dawn, 7 days a week, all year long. As this home is less than 150 feet from the boundary with Zion National Park, and is a common thoroughfare for wildlife including deer, fox, and mountain lion, I would like the commission to consider not approving a photo-cell installation on these exterior lights due to the detrimental effect on nocturnal animals. It seems that this action is allowed by Chapter 10-15C Outdoor Lighting Ordinance that states as its purpose in Section 10-15C-1(F) "To minimize nighttime impacts on nocturnal wildlife."

Page 12 of the package (Page A-1 Main Level Floor Plan) indicates that the A/C PAD will be placed outside of the Shower Room of the Owner's Suite. However, there is no screening indicated in the plans to limit the noise disturbance made by the mechanical equipment. This location for the A/C PAD is the closest point that the Keightley residence is sited in relation to the existing neighbor residence (S-CASE-22). Therefore, it is imperative that adequate sound deadening be installed or that the A/C PAD be relocated to a less obtrusive location, such as to the nook outside the garage wall near the powder room. Chapter 10-9A-14 of the Town Code lists Special Regulations and Requirements pertaining to development in the Foothill Residential zone. In particular, Section E. Mechanical Devices; Screening: Air conditioners, heating, cooling and ventilating equipment, propane tanks, swimming pool pumps and heaters, and all other mechanical devices shall be screened as necessary from the surrounding properties and streets or lanes, and shall be operated so that the resulting sound does not exceed the applicable sound control levels as set forth in town ordinances.

Lastly, the location of the Roof Top Deck on the Keightley home is also in very close proximity to the existing neighbor residence (S-CASE-22) and might be considered an invasion of privacy on that neighbor. That, as well as the location of the lot near the base of Johnson Mountain will also reflect all noise (especially music and even slightly above normal conversation levels) toward other neighbors on Canyon Cove. For these reasons, I ask that you consider not allowing a roof top deck on this residence.

While the Keightley residence seems to be well designed, I believe that the points outlined above should be addressed prior to the Planning Commission giving its approval. Thank you for taking the time to consider my comments.

Sincerely,

Susan Hoover
Springdale Homeowner and
Chairperson of the Canyon Springs Estates Architectural Control Committee

From: [Alex Goodman](#)
To: [Tom C. Dansie](#); [Darci Carlson](#); jburns@springdaletown.com; mmarriott@springdaletown.com; rrioux@springdaletown.com; tyoung@springdaletown.com; bbruno@springdaletown.com; scarnahan@springdaletown.com; treacy_stone@nps.gov; dmccomb@springdaletown.com
Subject: Input on the Keightley Residence proposal from adjacent neighbor Lot 22
Date: Tuesday, August 18, 2020 5:51:09 AM
Attachments: [IMG_0181.JPG](#)

Dear Springdale Planning Commission members and Town of Springdale staff,

Thank you for the hard work that you do on behalf of the Town and its residents.

As the immediate neighbor and sharing the lot line east of the proposed Keightley Residence (Lot 21 Canyon Springs) due for review this Wednesday August 19, we have considered the construction drawings and wish to provide input for the Commission's consideration. Odet and I welcome Sean and Ann Keightley; we are excited for them, are anxious for their construction to begin and hope that we will enjoy a long and friendly relationship as neighbors. We congratulate them, their home designer and builder on what looks to be a beautiful home. The home is thoughtfully sited and has a pleasing form. We acknowledge and thank them for the setback provided between our two homes.

That said, we have one significant concern, and that is regarding the proposed rooftop deck. Most of us lucky enough to build a home in Springdale do so for the peace, quiet and solitude that the Park and surroundings provide. It is for the following reasons that Odet and I strongly object to inclusion of a rooftop deck in this design:

1. In designing our home, we were exceedingly mindful of maintaining privacy to adjacent lots, such that a future home on either side of us would not feel as though we looked upon them. This was particularly the case with lot 21, as we sit 5-6 feet higher in elevation. We minimized our windows to that lot, and strengthened that privacy by a tall block wall running along our entire west elevation (see attached photo). This was done as a respect and courtesy to our future neighbors. For similar reasons, our primary outdoor space is surrounded by walls on 3 of 4 sides. We seek reciprocal consideration and courtesy.
2. The proposed rooftop deck essentially becomes an open second story, which is counter to the one story restriction on this lot, and chief reason we had confidence in being able to maintain privacy when purchasing our lot 14 years ago.
3. This second story deck is huge, would hover 7-8 feet above/just west of us, and would be a direct intrusion into our living space, privacy and solitude.
4. Our canyon locale transmits noise very, very readily. One can hear conversation 150 yards away. Given these conditions, elevating a large gathering space 12'-13' into the air makes it a potential stage for the wide broadcast of conversation and din from parties that would be unwelcome and unfair to neighboring homes.
5. The views that this rooftop space would afford are not meaningfully different from the views already amply afforded by the expansive porch just below which spans the entire front elevation of this home. Omitting the rooftop deck does not compromise the design in any way. And on a positive note, its omission simplifies the design and reduces cost.

We wholeheartedly welcome Sean and Ann and their new home, but for the reasons outlined above, we strenuously object to what we consider to be an open second story that would be intrusive to us and potentially quite noisy for all surrounding neighbors.

Thank you very much for listening and for your consideration. Please acknowledge receipt of our email

and inclusion into your deliberation.

Sincerely,

Alex Goodman
Odet Okihara



From: [Alex Goodman](#)
To: [Tom C. Dansie](#); [Darci Carlson](#); jburns@springdaletown.com; mmarriott@springdaletown.com; rrioux@springdaletown.com; tyoung@springdaletown.com; bbruno@springdaletown.com; dmccomb@springdaletown.com; scarnahan@springdaletown.com; treacy_stone@nps.gov
Subject: Juxtaposed Keightley and Goodman site plans showing proposed rooftop deck
Date: Tuesday, August 18, 2020 5:51:08 AM
Attachments: [Rooftop deck.jpeg](#)

Committee members and Town staff,

As an aid to visualization, attached is a followup illustration of existing site plan Goodman (lot 22) juxtaposed with proposed site plan Keightley (lot 21). The scale is not perfect between the two site plans, but it is quite close.

The proposed rooftop deck is highlighted in orange, and is west/northwest of lot 22. Due to the somewhat northwest orientation, the proposed deck would have full views of the front elevation of lot 22, much of it floor-to-ceiling glass oriented to the West Temple.

Thank you again for your consideration,

Alex Goodman
Odette Okihara

